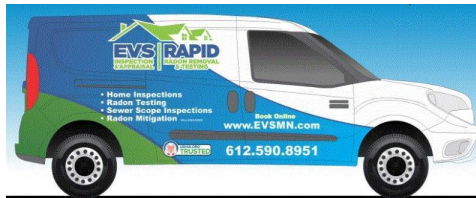


INSPECTION REPORT



For the Property at:
123 EVS DRIVE
ROGERS, MN 55374

Prepared for: EVS INSPECTIONS
Inspection Date: Monday, November 2, 2020
Prepared by: Matt Edick



EVS Inspections / Rapid Radon Removal
20980 Rogers Drive, Suite 450
Rogers, MN 55374
612.590.6288

www.evsmn.com
Booking@EVSMN.com



July 9, 2021

Dear EVS Inspections,

RE: Report No. 9219, v.5
123 EVS Drive
Rogers, MN
55374

Thank you for choosing EVS to perform your home inspection. The inspection itself and the attached report comply with the requirements of the ASHI Standards of Practice. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the ASHI Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home Inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report. Our consulting service via telephone is available at no cost to you for as long as you own the home.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks so much for choosing Edick Valuation Services to perform your Home Inspection.

Sincerely,

Matt Edick
on behalf of
EVS Inspections / Rapid Radon Removal

EVS Inspections / Rapid Radon
Removal
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AGREEMENT

123 EVS Drive, Rogers, MN November 2, 2020

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PARTIES TO THE AGREEMENT

Company

EVS Inspections / Rapid Radon
Removal
20980 Rogers Drive, Suite 450
Rogers, MN 55374

Client

EVS Inspections

This is an agreement between EVS Inspections and EVS Inspections / Rapid Radon Removal.

PLEASE READ THIS AGREEMENT CAREFULLY

Preface: Periodically you have the opportunity to receive emails from us touching on various topics such as seasonal maintenance reminders, inspection related topics, radon related topics, and appraisal related topics, etc.. It is our promise to you that we will NOT share your contact information with any party. These informative emails are very useful and valuable to many of our clients. If you do not wish to receive these periodic emails, please do not register them as SPAM. Instead, we respectfully ask that you click the OPT OUT button at the bottom of the email. This will ensure that your email address will be removed and those who wish to receive these emails will continue to receive them. Thank you very much for your consideration. Ryan Edick.

Contract: The service provided and referred to within this inspection contract is that of a Home Inspection or Real Property Inspection only, and should NOT be considered or used as a Code Compliance Inspection or Real Property Appraisal of any form. Any discussion, both verbal or in writing, relating to value should NOT be considered when reviewing the inspection report / reports, or inspection agreement. If a full Real Property Appraisal has been completed by Edick Valuation Services LLC as a separate service or document, it should be considered as a separate document which is not affected by the Home Inspection Report as a Home Inspection Report will not be reviewed or considered when formulating an opinion of value. The formulation of Rehab Investment Value ("Property Flip"), Rental Value ("Investment Value"), Fair Market Value, Liquidation Value, are NOT the purpose or intended use of an Edick Valuation Services LLC Home Inspection Report. The "cost to cure" or "cost" of defects or deficiencies will be researched through our preferred vendors and will be documented within the Inspection Report. The cost to cure or "cost" section or line item is merely a guide to follow when researching your own cost to cure and not intended to reflect the current actual cost to cure any deficiency documented within the Inspection Report when compared to any other pricing source. Edick Valuation Services LLC or any independent contractor home inspector or Edick Valuation Services LLC (a.k.a. your personal Inspector) is not liable for any discrepancies, failure to or lack thereof research, difference in price, or difference in value of actual cost to cure any item listed with the Home Inspection Report, Summary or "Bottom Line" Inspection Report.

The services provided to you, the Client, by Edick Valuation Services are that of assigning your home inspection assignment to your home inspector based on logistics, client preference, etc.. Edick Valuation Services LLC does NOT warranty or guarantee the quality of home inspector's home inspection process or the inspection report.

This Agreement is between your home inspector as well as the home inspection or Real Property Inspection division of Edick Valuation Services LLC a.k.a. EVS, a Minnesota Limited Liability Corporation with its principal place of business located at, 10200 Kahler Ave NE Otsego MN 55362 (hereinafter called the "Company"), and the clients, as identified and signed by below (hereinafter, whether joint or several, called the "Client"). The inspector or inspectors involved with the inspection and reporting regarding the subject property are representing themselves as HOME INSPECTORS or Real Property Inspectors, NOT Residential Appraisers. Unless specifically contradicted by the language herein which shall control in the event of the conflict, this inspection of the subject property shall be performed by the Company f

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or the Client in accordance with the Standards of Practice of the Inspector Training Associates (Kaplan I.T.A.) and American Society of Home Inspectors, Inc. ("ASHI"), a copy of which is available at www.ashi.com.

I. PURPOSE AND SCOPE OF INSPECTION. Your home inspector agrees to perform a visual inspection of the subject house or commercial improvement, functionality test of various components of the house (example: appliances, mechanicals, etc.), and to provide you the Client with a written and illustrated report identifying the major deficiencies. Items not specifically included in the written report and identified in this agreement are beyond the scope of the real property inspection and are not reviewed. No verbal statements by the inspector shall expand the scope of this agreement or the inspection report, nor shall such statements be relied upon by the client when solicited from the independent contractor inspector at any time. EVS and your home inspector are NOT "Code Compliance Inspectors" and not all non-compliant items will be reported as building codes, electrical codes, etc are subject to change regularly and often times differ between municipalities, towns, cities, and districts.

The inspection includes such items as:

Sidewalks / Driveways, Foundation (When exposed and able to be viewed), Drainage, Appliance Functionality, Plumbing, Electrical, Materials of Construction, Parking Lots, Roof Top Units, Interior, Central Air, Insulation, Heating, Crawlspace (*Properly ventilated crawlspace with concrete floor only inspection with minimum height of 4' of clear working space . "Head and Shoulders Look Limited" inspection of dirt floor crawlspace and areas under 4' in height ONLY due to the potential for safety hazards) / Basement, Fireplace(s), Attic, Exterior, Roof.

The inspection DOES NOT include items such as:

Underground utilities, Playground equipment, Pools, Elevators, Wells/springs, Tennis courts, Solar systems, Security systems, Septic Tanks, Drain fields, Personal property, Cosmetic items, Water softeners, Central Vacuum, Cesspools, Sprinkler systems, Recreational appliances, Gas line leak detection, Any item concealed within the walls, CO Detection, Removal of personal property or wall cladding to expose suspect areas. Your inspection is a non-intrusive inspection and should not be misconstrued as anything more than an "arms length" visual inspection of the items listed above.

* Thermostats or timers are not checked for accuracy or calibration.

* Air conditioners cannot be safely checked when the outside temperature has been below 65 degrees within 24 hours.

II. LIMITATIONS.

1. As an example only, the inspection report may or may NOT include cosmetic items such as minor scratches, scrapes, dents, cracks, stains, soiled, faded, torn or dirty floor, wall or window coverings. When recovered, some cosmetic items can be the result of larger issues which are then investigated further and reported on (example: Water staining on walls and ceilings).

The inspector is not required to move personal property, debris, furniture, equipment, and carpeting or like materials which may impede access or limit visibility. Recent and existing weather conditions may also limit or restrict the results of the inspection. ALL Major deficiencies and defects which are latent or concealed are excluded from the inspection. The inspection is not intended to be technically exhaustive. The length of time that we are able to perform your home inspection is very limited. By signing this document electronically you are agreeing that you have been made agree that it is impossible for your inspector to locate, define, and/or recover ALL major or minor deficiencies within the limited amount of time that we are able to be on site. Equipment and systems will not be dismantled further than removing access covers of electrical panels, water heater, and furnace. Edick Valuation Services (a.k.a.EVS) does not guarantee that detected evidence of past or present water infiltration will not re-occur in the same or different locations at some future time..

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IF AN ATTIC ACCESS SCUTTLE IS SHEET ROCKED, FINISH TAPED AND / OR IN UNOPENED CONDITION, THE ATTIC ACCESS WILL NOT BE OPENED WITHOUT THE CONSENT OF THE HOMEOWNER OR HOMEOWNER REPRESENTATIVE. ONCE THE INSPECTOR BREAKS THE SCUTTLE FINISHED SEAL, IN NO WAY IS THE INSPECTOR OR Edick Valuation Services LLC, LIABLE OR RESPONSIBLE FOR THE FIXING OR REPLACING THE SCUTTLE BACK TO ITS ORIGINAL CONDITION. IF ATTIC ACCESS IS REFUSED THROUGH THE INTENDED ATTIC ACCESS SCUTTLE, THE ATTIC WILL NOT BE INSPECTED. REFUSAL OF THE ATTIC INSPECTION WILL NOT RESULT IN AN INSPECTION FEE REDUCTION.

Your home inspection report is produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein. All printed comments and the opinions expressed herein are those of your home inspector and Edick Valuation Services LLC.

All Inspection Narratives both Verbal and Written.

2. The inspection is NOT a code compliance inspection for past, present, or future governmental codes or regulations of any kind.

3. The inspection and report do not address and are not intended to address the possible presence of or danger from asbestos, radon gas (unless 48 Hour Radon Monitoring service is ordered as part of your inspection), lead paint, urea formaldehyde, toxic or flammable chemicals, mold, mildew, water or airborne related illness or disease, and all other similar or potentially harmful substances. The client is STRONGLY urged to contact a reputable specialist if information identification or testing for the above is desired. In addition, the presence of rodents, termites, or other insects / vermin is not covered by this inspection.

4. This inspection report is not intended to be used as a guarantee or warranty, expressed or implied, regarding the adequacy, performance or condition of any inspected structure, item or system. The inspection and report are not intended to reflect the value of the premises or to make any representation as to the advisability or inadvisability of purchase or the suitability for use.

5. The inspection/report is not a certification of any kind. Edick Valuation Services LLC shall not be construed as insuring against any defects or deficiencies not contained in the inspection report and subsequently discovered by the Client. This inspection DOES NOT imply that EVERY defect was found, and any omission, error, or misrepresentation of an area reported on is not the responsibility of the assigned Home Inspector or any representative of Edick Valuation Services LLC. We have a detailed process in place to best perform a thorough and accurate inspection and reporting of the composition of the subject property, but human error is possible in any practice. Edick Valuation Services LLC and/or the assigned home inspector or inspectors and/or appraiser or appraisers are not responsible for any type human error or "missed" items. Please keep in mind that we are only allotted 4 hours to inspect the entire home and its systems and components. This includes the 1 hour walkthrough with the client at the end. It should not be assumed by the client that any single person would recover every deficiency in such a short period of time.

III. NOTICE OF CLAIM. In the event of a discrepancy, problem, dispute or claim arising pertaining the performance of an inspection by the Company and/or your home inspector, the Client agrees to promptly notify the Company in writing by U.S. Certified Mail. Any claim against the Company must be received by the Company, in writing, within 12 MONTHS from the Agreement Date, or such claim is waived, regardless of the date when Client becomes aware of the discrepancy, problem or claim. Client guarantees the Company the right to examine the subject matter of any claim, prior to the Client's performance of any remedial action (unless of an emergency nature of for the safety of person or property). This is a condition precedent to Client's claim.

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IV. LIMITED LIABILITY. The parties agree that the maximum liability of the Company, and it's employees, home inspectors, contractors, and agents, for any loss or damage, in the event the Company, it's employees, home inspectors, contractors, and agents are negligent, in breach of contract, or otherwise at fault in the performance of its obligations, shall be limited to a sum equal to the fee for the inspection service, not including radon monitoring fees. If a lawsuit, legal action or arbitration is filed by the Client against the Company, your home inspector, agent, employees and the Company and/or your inspector successfully defends the claim of the Client, the Client agrees to pay the Company and/or your home inspector for their time in defending such action, at their normal hourly rate of \$150 per hour invested, attorney's fees and court costs, drive time, mileage, and any other costs incurred in defending against such claim.

V. PAYMENT. Payment is expected to be made by the client at the time of the inspection walk through meeting or prior to the inspection if the client elects NOT to attend the findings meeting. There will be a \$30.00 dollar charge if any form of payment is subsequently dishonored. All legal and time expenses incurred in collecting due payments, returned checks, or unaccepted credit and payments will be paid by the purchaser of the service. Any outstanding fee not paid within 30 days of the inspection will have a service charge of 1.5% monthly or 18% per annum added to the inspection fee. ALL Credit is on a strict per inspection approval basis by the Owner and President of Edick Valuation Services LLC, Ryan Edick. Credit arrangements must be made PRIOR to the inspection date.

VI. NON-ASSIGNMENT AND INDEMNITY. The inspection and report are performed and prepared for the sole, confidential and exclusive use and possession of the undersigned client only; they do not run with the land. The client agrees to indemnify and hold harmless Edick Valuation Services LLC and your home inspector or inspectors and/or Appraiser or Appraisers for all costs, expenses and legal fees incurred and arising out of any legal proceedings brought by any third party who claims he/she relied on representations made in this inspection report and was damaged thereby.

VII. ENTIRE AGREEMENT. This agreement represents the entire agreement between the parties. No change or modification shall be enforceable against any party unless such change or modification is in writing and signed by the parties. This agreement shall be binding upon and enforceable by the parties, and their heirs, executors, administrators, successors and assigns.

VIII. CLIENT'S PRESENCE. If the Client is not present at the time of inspection or for any reason is unable to sign this agreement at the time of inspection, this agreement will become part of the inspection report, and acceptance of the inspection report shall constitute acceptance of all of the terms herein.

IX. SEVERABILITY PROVISION. If any portion of this agreement is ruled to be illegal or unenforceable, that provision shall be null and void but the remainder of the agreement shall remain in full force and effect. CLIENT ACKNOWLEDGES THAT HE OR SHE HAS READ THIS AGREEMENT IN FULL PRIOR TO SIGNING IT AND UNDERSTANDS ALL TERMS AND CONDITIONS. Client agrees to conduct their own Pre-Closing walk through. If any areas of concern are NOT completed to the clients satisfaction by the homeowner or homeowners representative, NO liability shall be expected or placed upon Edick Valuation Services LLC or your home inspector / inspectors or Appraiser or Appraisers. The findings, opinions, reports, and notes, verbal or in writing, are NOT intended, and should NOT be used as negotiating tools pertaining to the sale or purchase of the subject property. All representatives of Edick Valuation Services LLC are impartial and unbiased when performing the home inspection or real property appraisal. We DO NOT champion the cause of any person associated with the subject property and will not represent any individual or consider the opinions of such during the inspection.

X. Radon Testing and Sewer Scoping. Please note: If you have ordered Radon Testing or Sewer Scoping with your inspection, your electronic signature is required before we can place the radon monitor or schedule the sewer scoping.

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Delays can be expected if signatures are not provided in a timely manner. If your inspection is cancelled after the radon monitor has been deployed or the sewer scoping has been completed you are responsible for the full fee of the radon monitoring.

XI. Attention: Homes built between the approximate years of 1880 and 1950 have the potential of having an outdated standard wiring such as knob and tube hidden within the walls and exposed in open areas that may or may not have been recovered during our non-intrusive inspection. This wiring is coated with cloth based wire insulation. The potential hazards of outdated wiring are electrical shock and fire due to contact with exposed wires. In signing this agreement you are agreeing to not hold responsible your home inspector or Edick Valuation Services for knob and tube wiring that is hidden or not recovered as part of the home inspection process.

XII: FPE Stab-Lok Breakers & Electrical Code Compliance. As part of our inspection process your Inspector will perform a visual check of the electrical wiring and breakers at the main electrical panel. If the breakers and associated wiring contained within the main electrical panel do not show evidence of overheating at the time of the inspection, the overall condition of the electrical panel, breakers and associated wiring contained within the main electrical panel will be reported as being in good working condition, even when inspecting FPE Stab-Lok Breakers. The Electrical Code Compliance of any breaker or electrical components will not be reported as your EVS Inspector has not been engaged to perform "Code Compliance" inspections. More information about FPE Stab-Lok Breakers can be found at www.ismypanelsafe.com/files/FPECircuitBreakerHazards070525.pdf

XIII. The 4 hour inspection timeline includes the first 3 hours uninterrupted and the last hour is dedicated to the client inspection findings walkthrough. If you arrive at the property earlier than the last hour we run a much higher risk of distraction resulting in a higher potential for missing an inspection item. Due to this higher risk we ask that you only come to the home the last hour of your inspection timeline. By signing this agreement you are agreeing to do so and you are also waiving any rights to dispute our findings or lack thereof if you are present during the first 3 hours of the inspection.

XIV. Sewer Scope and Sub-Slab HVAC Ductwork Scope Limitations: If you have included sewer scoping as part of your inspection please note that our camera scopes are limited to 200 feet and we are only able to report the condition of your ductwork and/or main sewer pipe up to 200 feet.

I, EVS Inspections (Signature) _____, (Date) _____, have read, understood and accepted the terms of this agreement.

ROOFING

123 EVS Drive, Rogers, MN November 2, 2020

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

RADON

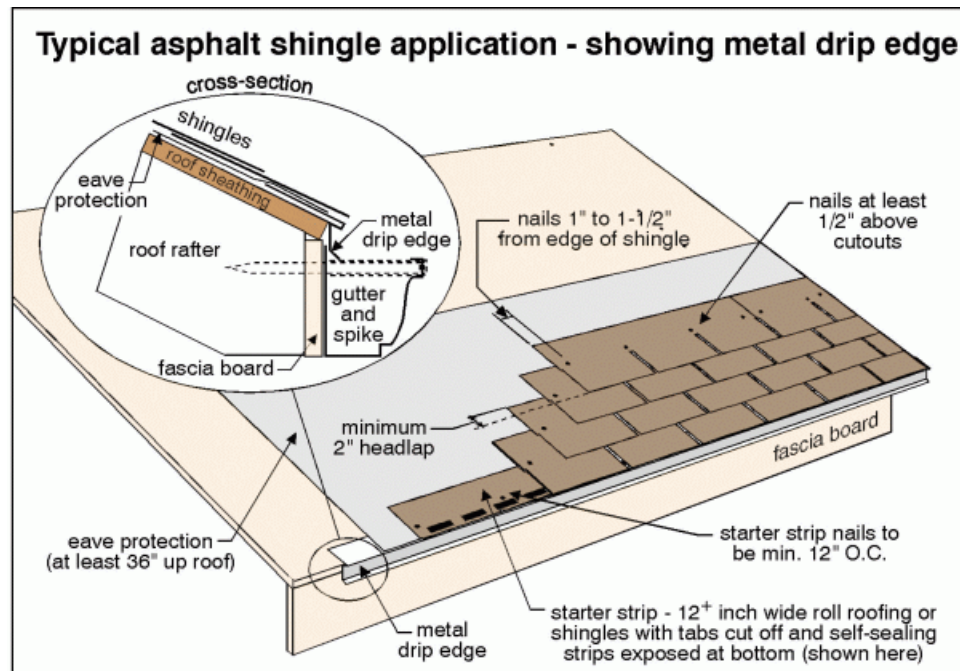
MORE INFO

REFERENCE

Description

Sloped roofing material:

- Asphalt shingles



"Walk On" Lower Tier Roof Inspection



"Walk On" Lower Tier Roof Inspection

ROOFING

123 EVS Drive, Rogers, MN November 2, 2020

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"Walk On" Lower Tier Roof Inspection



Some Granular Loss On Cosmetics Of Aging

Probability of leakage: • Medium

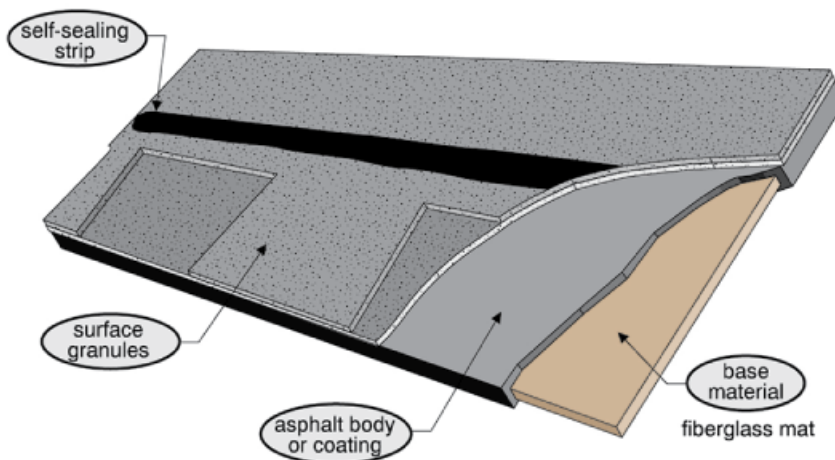
Approximate age:

- 15 years
- +/- 5 years

Typical life expectancy:

- 25-30 years

Architectural (dimensional) shingles



ROOFING

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Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • By walking on roof • From the ground • From Attic • From Window

Age determined by: • Visual inspection from roof surface

Description

Gutter & downspout material: • Metal

Gutter & downspout type:

- [Eave mounted](#)

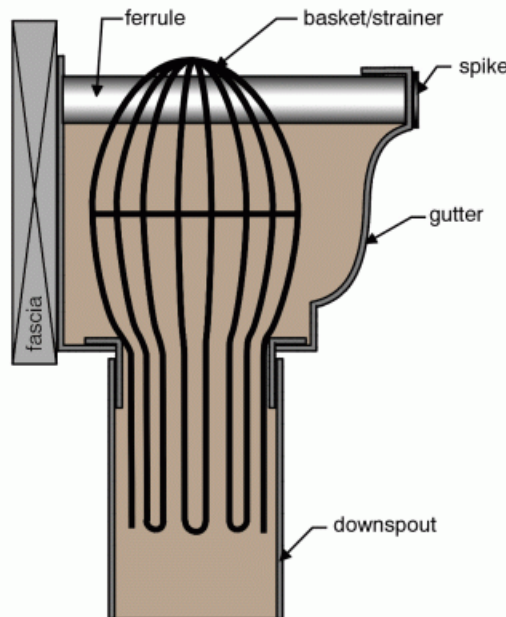


Gutters

- Clean gutters seasonally or as needed. Monitor gutter performance annually during a rainy day. Ensure no leaks are present and seal as needed. Add splash guards to areas where water is spilling over gutter span. Consider adding helmets and strainers to reduce maintenance. Screens still require maintenance and guards or helmets are preferred.

Baskets/strainers at the top of downspouts

baskets/strainers at the top of downspouts can help keep the downspouts clear of debris but, they do tend to make the gutters clog more quickly

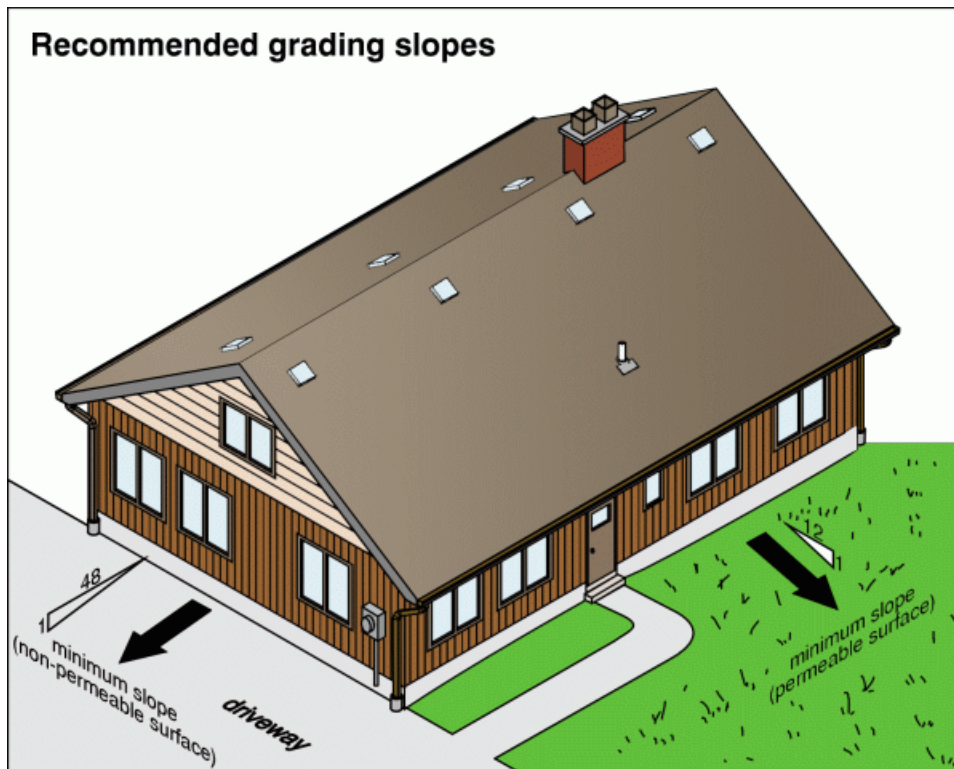


Gutter & downspout discharge: • [Above grade](#)

Lot slope:

- [Away from building](#)
- [Flat](#)
- [Click here for a video \(Right Click Open New Tab/Window\)](#)

Always maintain proper grading around the home to ensure water is shedding away from the foundation. Areas of the home that can not support gutters should be monitored and built up more frequently. This pertains to the hard packed soil and not landscaping materials. We need to achieve appropriate pitch and then add our mulch or rock.



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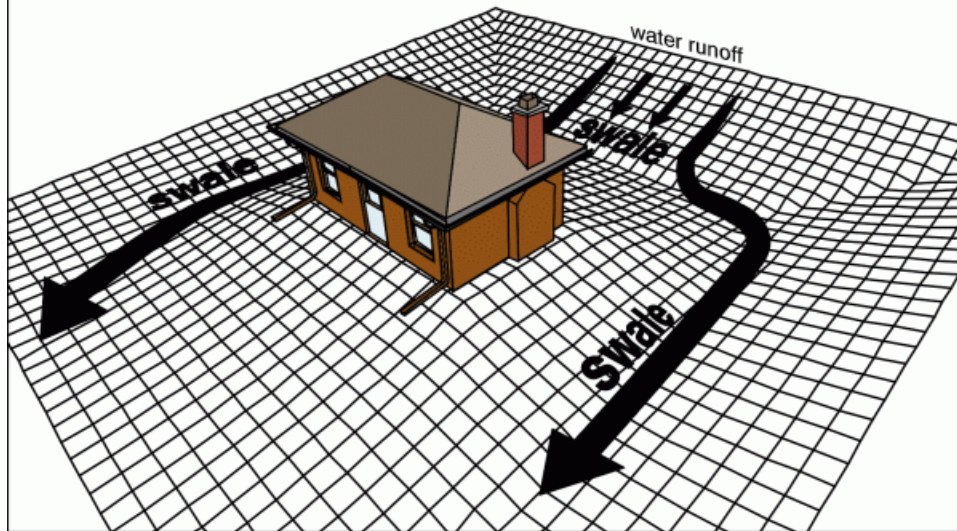
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REFERENCE

Swales

swales are shallow ditches that collect surface water several feet away from the building and divert it around one or both sides of the home



Right Side Grading



Rear Grading

EXTERIOR

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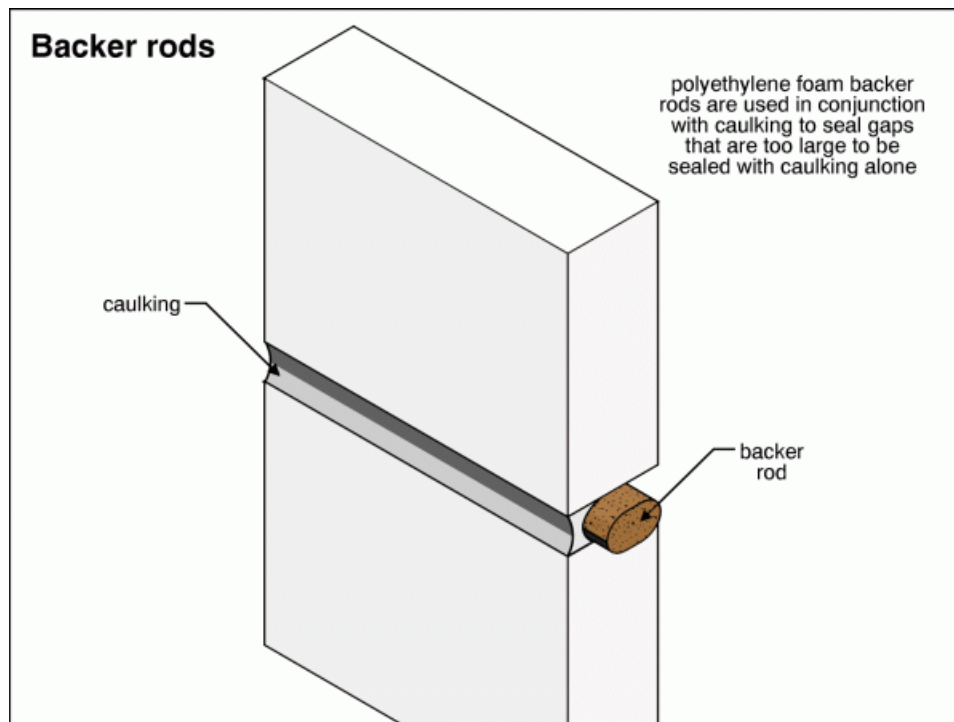
REFERENCE



Left Side Grading

- [Click here for a video \(Right Click Open New Tab/Window\)](#)

Any opening, gap, or crack should be filled to prevent further growth and movement. Monitor and keep up with voids around the home and foundation. This will reduce water intrusion and help prevent concrete from settling and backpitching towards home. This can divert excess water to the foundation and can cause basement seepage. Ensure voids are cleaned and dry prior to application ensuring a good bond for sealant. Clean out gap down to 1" and insert foam backer rods. Then top with a polyurethane based self leveling caulk.



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Maintain Void



Seal Voids

Soffit (underside of eaves) and fascia (front edge of eaves): • [Metal](#)

Wall surfaces and trim: • [Vinyl siding](#)

Retaining wall:

• [Masonry](#)

Retaining wall failure noted. Re-seat the block and try to add some sort of drain membrane to allow soil to shed extra weight of water.

Driveway:

• Asphalt



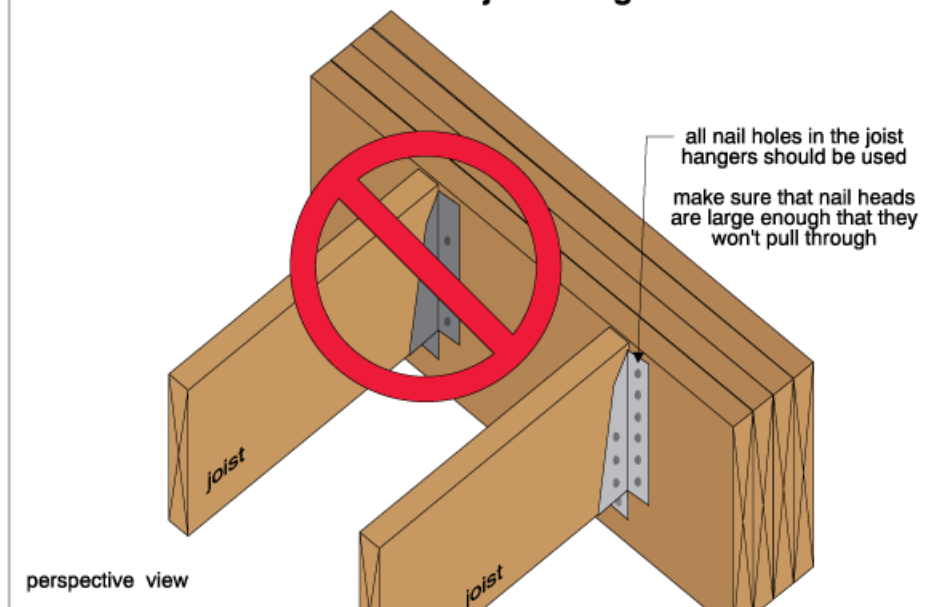
• No performance issues were noted.

Walkway: • Concrete

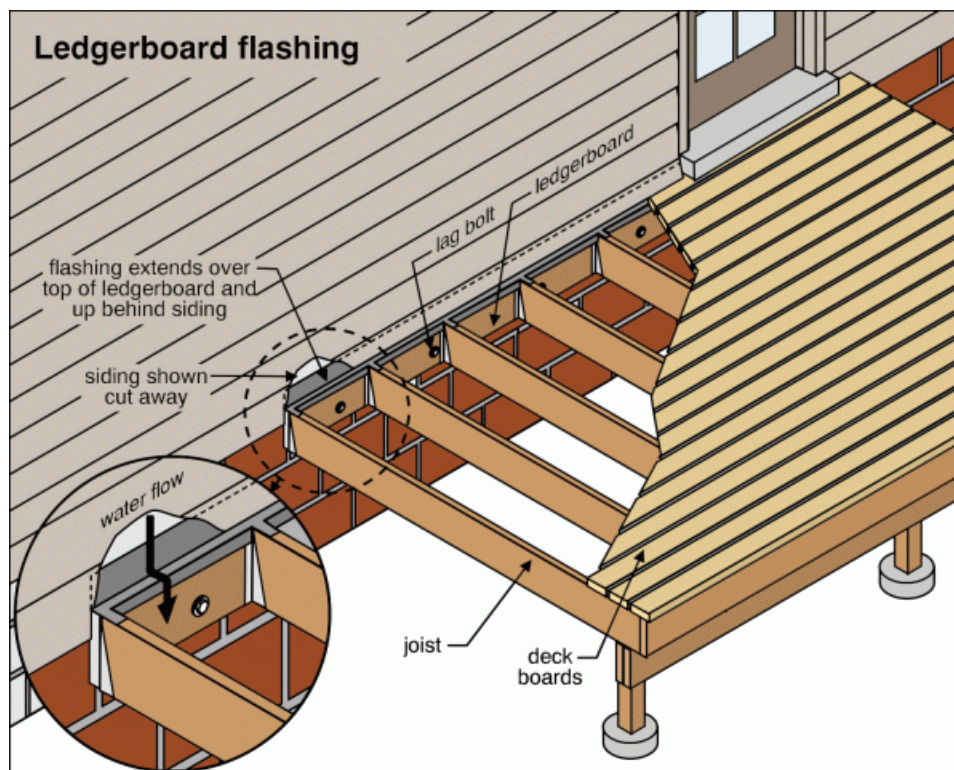
Deck:

- Raised

Watch for insufficient nails in joist hangers



Ledgerboard flashing



EXTERIOR

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Joist Hangers And Flashing Present

Exterior steps:

- Concrete



Front Steps

Patio:

- Pavers

EXTERIOR

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Rear Patio

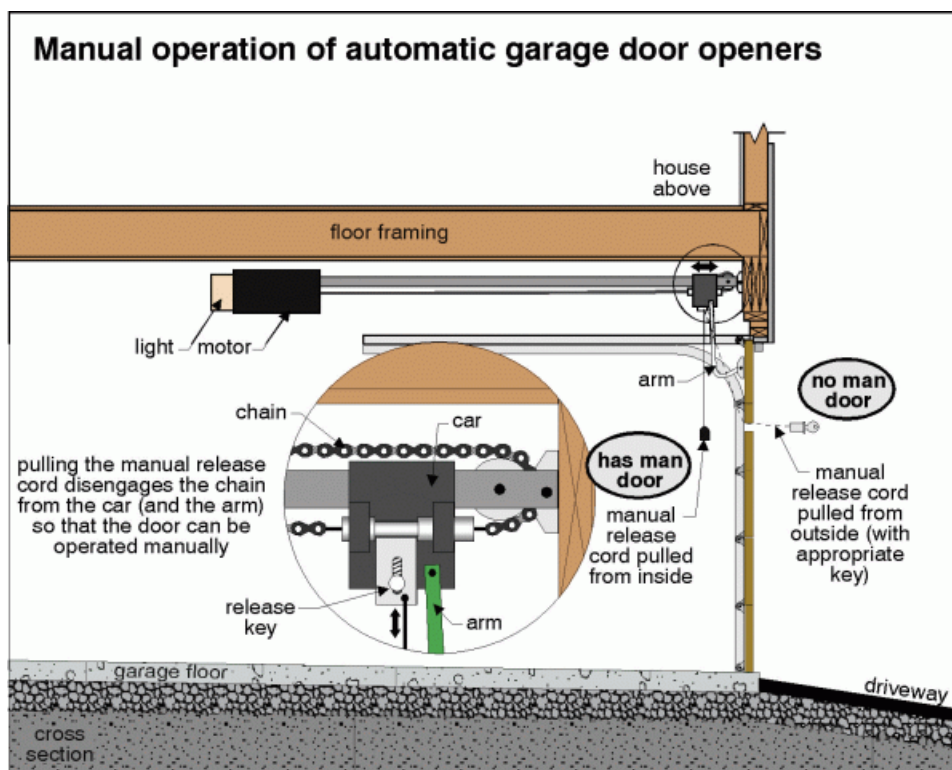
Garage:

- Attached

Garage door openers are functional with safety sensors working.

Springs and cables intact.

Automatic reverse not tested.



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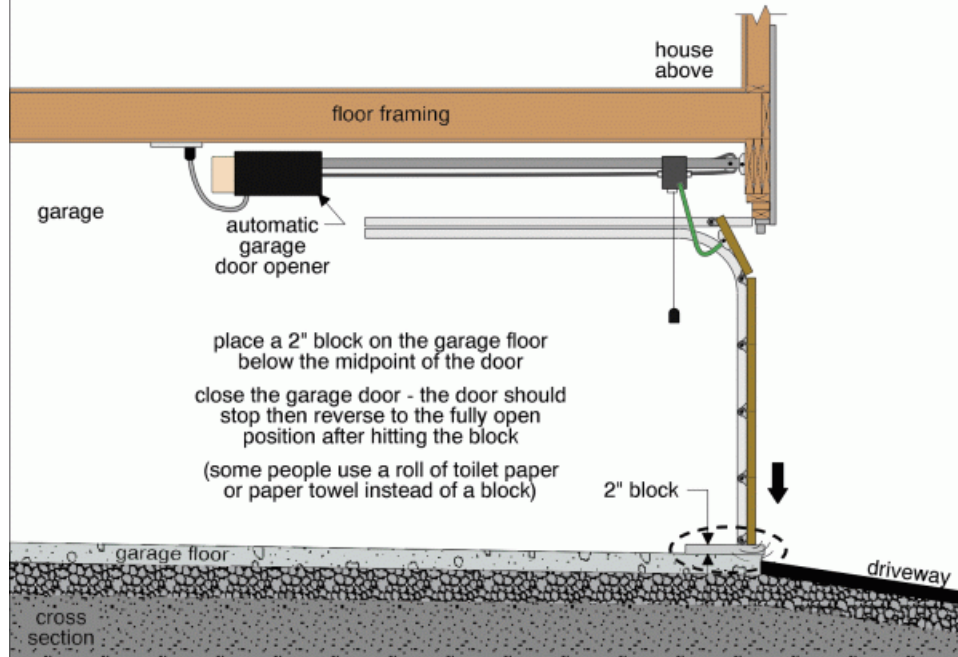
INTERIOR

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Testing automatic reverse



Openers Functional

Limitations

Inspection limited/prevented by: • New finishes/paint/trim • Storage in garage • Vines/shrubs/trees against wall

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls • Geological and soil conditions • Recreational facilities • Outbuildings other than garages and carports • Erosion control, earth stabilization measures

Recommendations

ROOF DRAINAGE \ Downspouts

1. Condition: • Discharge onto roof

Although this is installation standards unless specified. Downspouts that discharge onto second roof will exhibit more wear than the rest of the shingles. It is more ascetically pleasing not having downspout extensions going across a roof but better for life expectancy of shingles. More water discharge equals more granule loss, the granules are there to protect the asphalt coating from powerful UV ray penetration. Think of it like a waterfall eroding rock below.

Improve by adding an extension to divert to lower gutter span.

Although this is installation standards downspout extensions that discharge onto second roof will exhibit more wear than the rest of the shingles. It is more ascetically pleasing not having downspout extensions going across a roof but better for life expectancy of shingles. More water discharge equals more granule loss, the granule are there to protect the asphalt coating from powerful UV ray penetration. Add extension to divert to lower gutter span. \$50-\$100

Add extension upon next roof replacement.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Roof

Task: Improve Protect

Cost: \$50-\$100

Downspout running across roof

installing a downspout (from the secondary roof to the main gutter below) helps prevent localized roof wear



Discharge Onto Roof

2. Condition: • [Missing](#)

Re-secure and replace missing or disconnect down spout extensions. We need to shed water 4-6' away from the home.

I found some areas where the gutters need routine cleaning. Clean seasonally or as needed. Consider installing helmets or guards. Higher cost for guards.

Monitor current gutters for any leaks and seal as needed.

Add splash guards to areas where water is spewing over.

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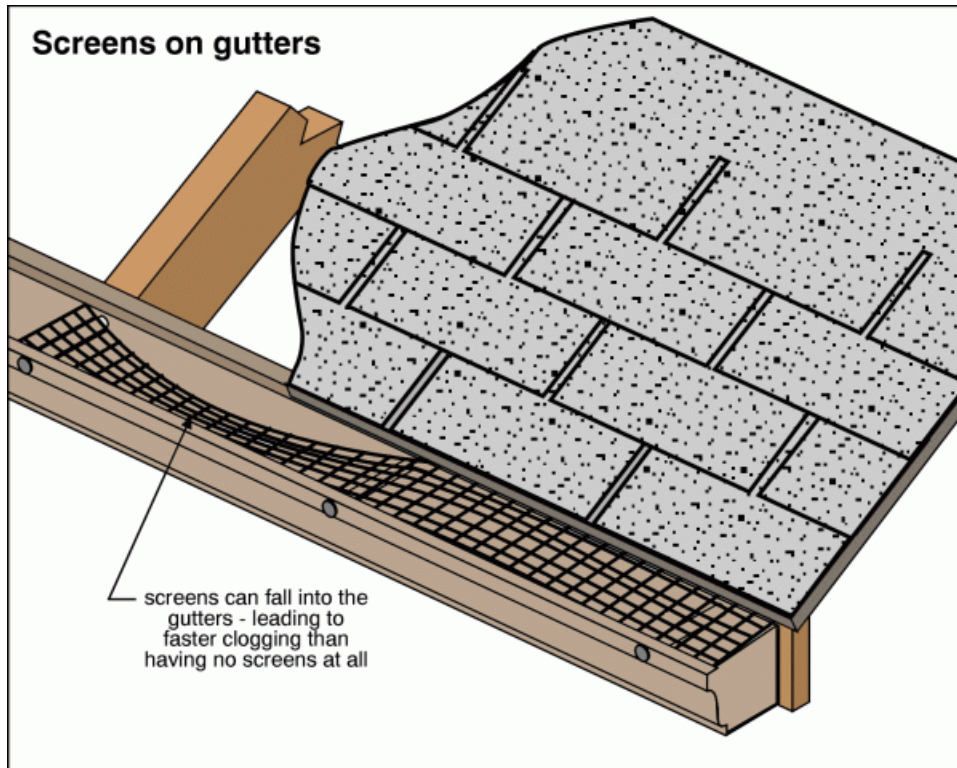
Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Exterior

Task: Improve Clean Protect

Time: Ongoing

Cost: Less Than \$50 Up to \$150



EXTERIOR

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

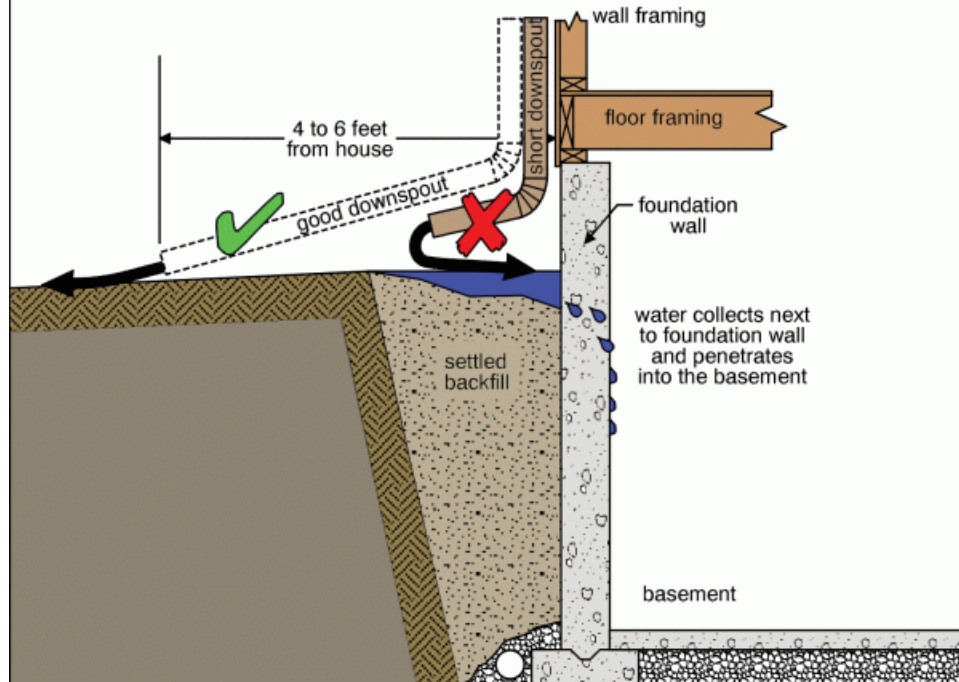
INTERIOR

RADON

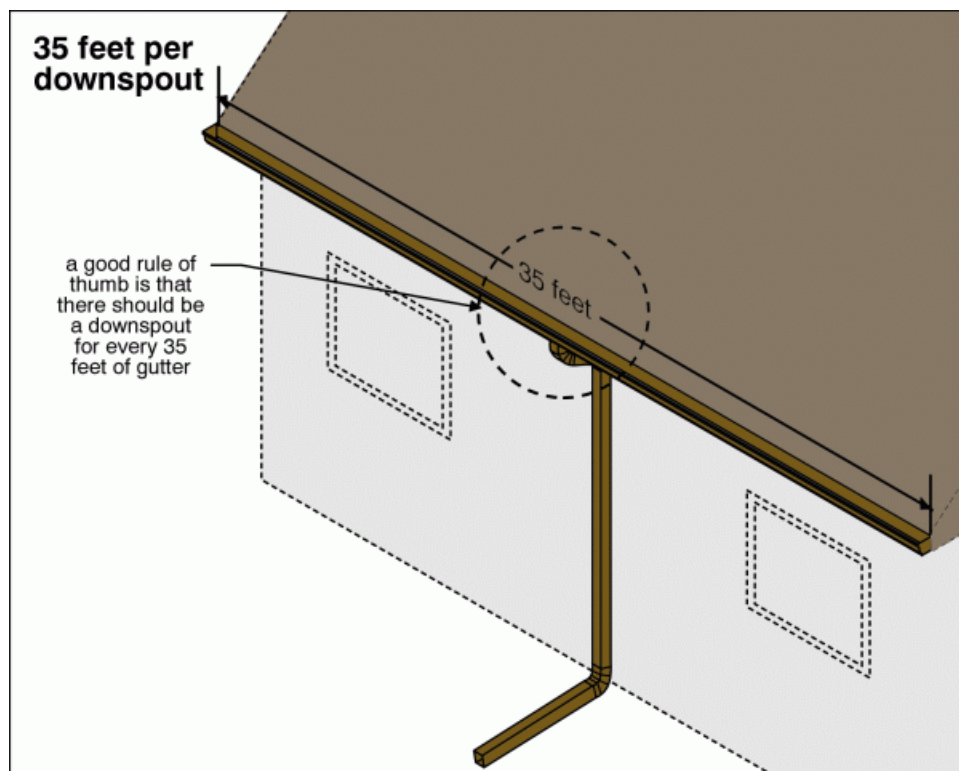
MORE INFO

REFERENCE

Downspout extension too short



35 feet per downspout



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Missing Extension Front



Disconnected Rear Extension



Disconnected Rear Extension



Gutters W/ Debris Front Exterior



"Splash Guard"

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WALLS \ Trim

3. Condition: • Paint or stain needed

I found a few areas of peeling paint and minor decay. Seal all exterior wood with an oil based primer and paint.

Minor areas of decay can be removed and repaired with wood putty (Durhams).

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various Exterior Wall (Siding)

Task: Improve Protect

Time: Regular maintenance

Cost: Less Than \$50 Up to \$150



Front Exterior



Left Side Front Bsmt. Window

WALLS \ Flashings and caulking

4. Condition: • [Caulking missing or ineffective](#)

Keep brick veneer sealed to prevent faster rates of deterioration. Use "Vulkem".

Implication(s): Chance of water damage to structure, finishes and contents

Location: Front of Home

Task: Improve Protect

Time: Regular maintenance

Cost: Less Than \$50

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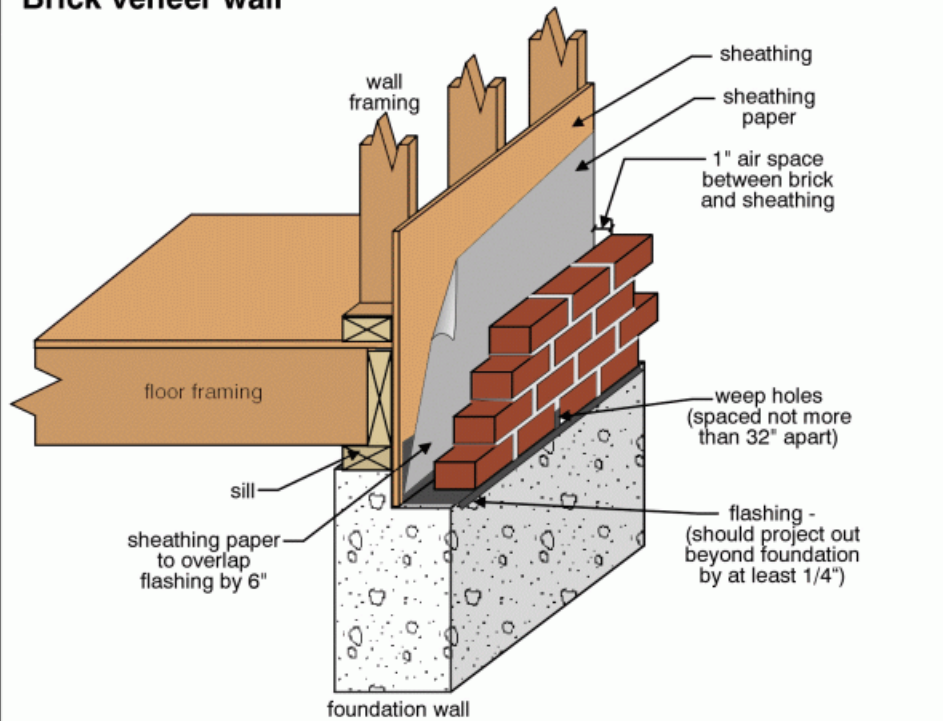
INTERIOR

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REFERENCE

Brick veneer wall



Brick Veneer

WALLS \ Vinyl siding

5. Condition: • [Mechanical damage](#)

Seal areas with vinyl siding repair tape or exterior grade polyethene caulking to prevent water intruding behind siding.

Be mindful with landscaping duties as this siding is venerable to this kind of damage.

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Noted some areas of staining on rear siding. Clean with a pressure washer, ensure PSI is not too high.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior Wall (Siding)

Task: Improve Protect

Time: Ongoing

Cost: Less Than \$50 Up to \$200 For Replacement



Left Side Garage



Over Garage Door

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Columns / Posts

6. Condition: • Wood/soil contact

Continue to monitor for decay and rot. Incorporate above ground footing connections on future repairs. No rot present.

Implication(s): Weakened structure | Chance of movement | Rot | Insect damage

Location: Rear of Home Deck

Task: Monitor

Time: Ongoing

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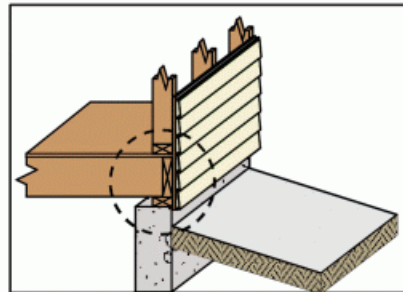
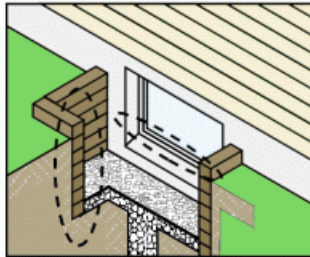
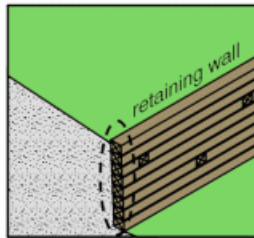
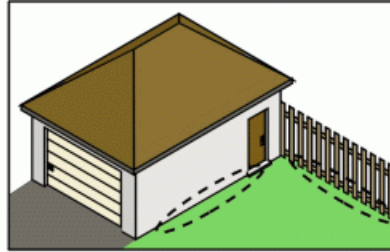
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Areas to check for wood/soil contact include:



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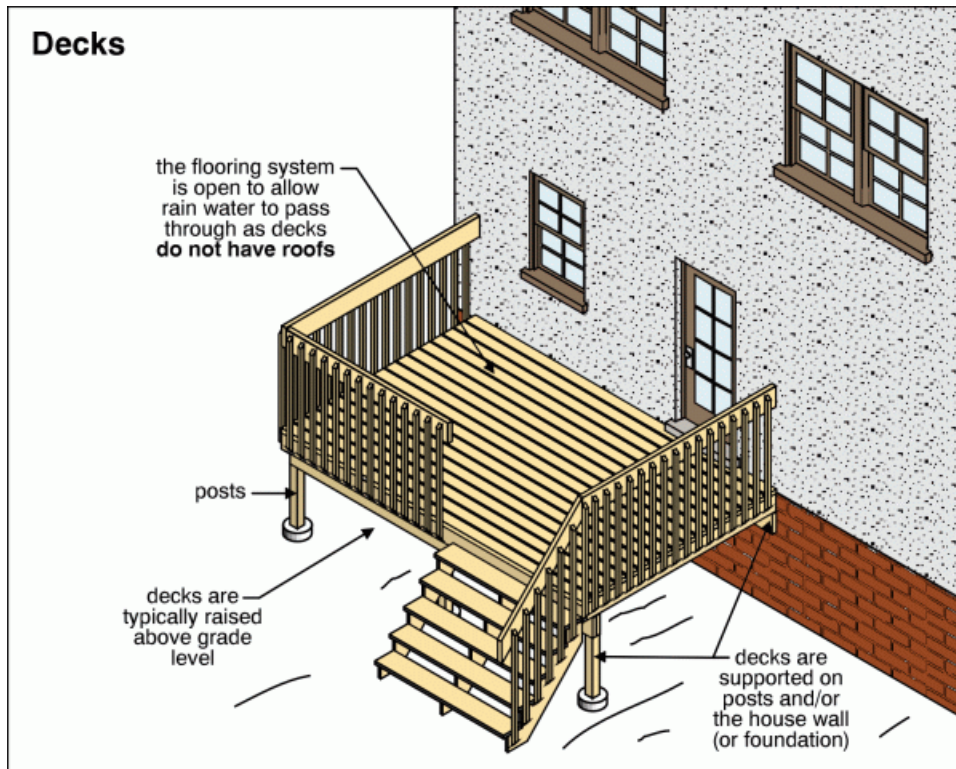
INTERIOR

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Decks



Deck Posts Appear Poured In Place

LANDSCAPING \ General notes

7. Condition: • [Trees or shrubs too close to building](#)

Maintain all trees and shrubs so they are not in direct contact with the home.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

Location: Various Exterior

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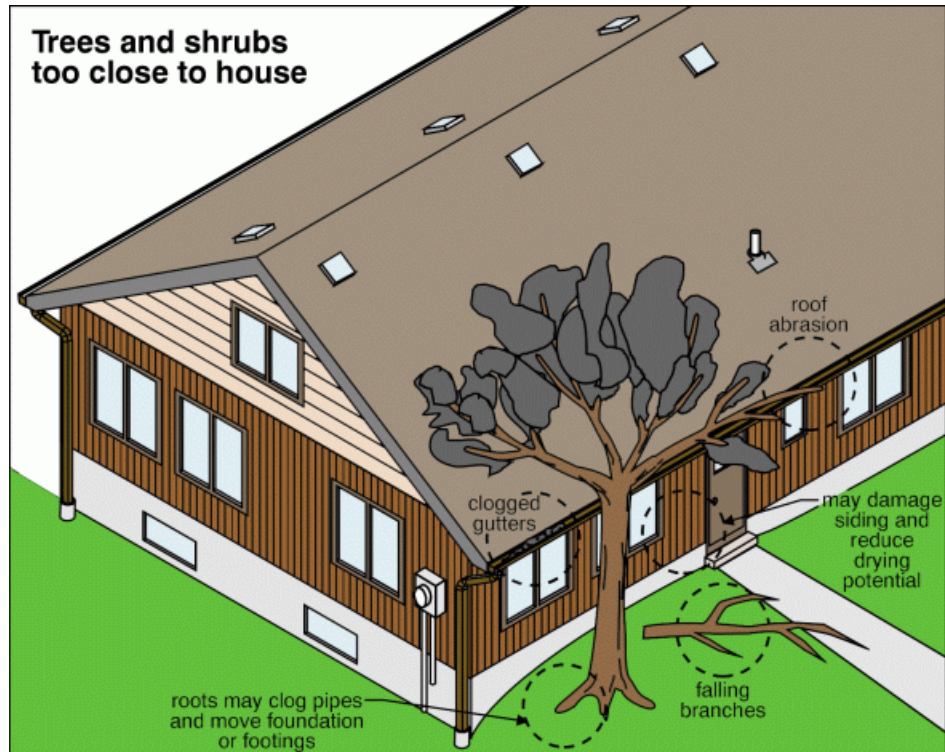
MORE INFO

REFERENCE

Task: Improve Remove Protect

Time: Ongoing Regular maintenance

Cost: Less Than \$50



Encroaching Vegetation

LANDSCAPING \ Retaining wall

8. Condition: • [Settling or shifting](#)

Retaining wall failure noted. Re-seat the block and try to add some sort of drain membrane to allow soil to shed extra weight of water. Otherwise weighted soil can put pressure against the wall and cause movement.

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Implication(s): Weakened structure | Chance of movement

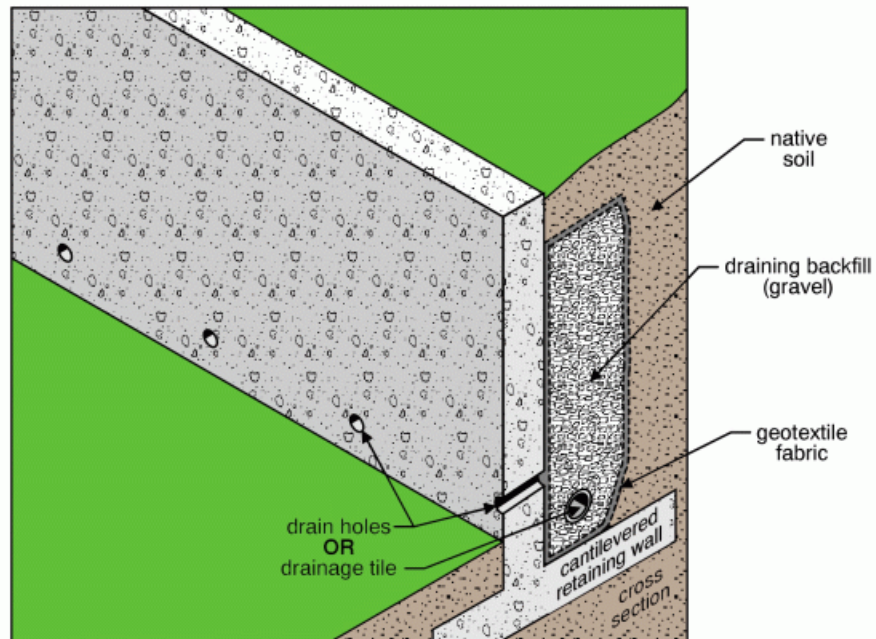
Location: Rear of Home Left of Home Right of Home

Task: Repair Improve

Time: When necessary

Cost: \$50-\$400 and up depends on approach

Drainage is important



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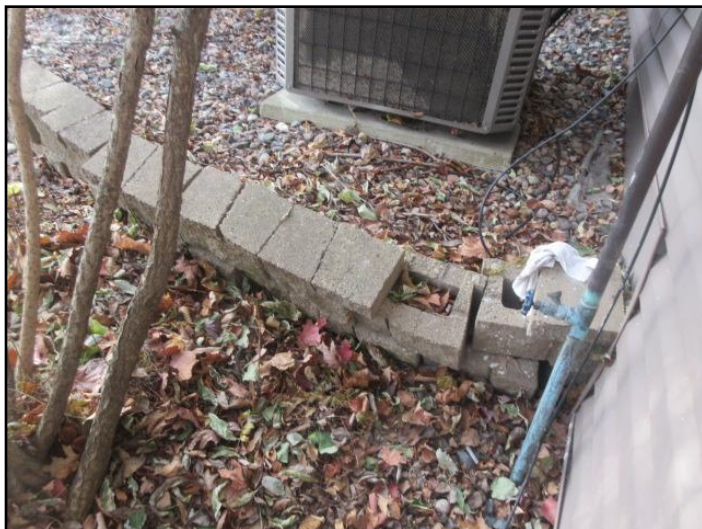
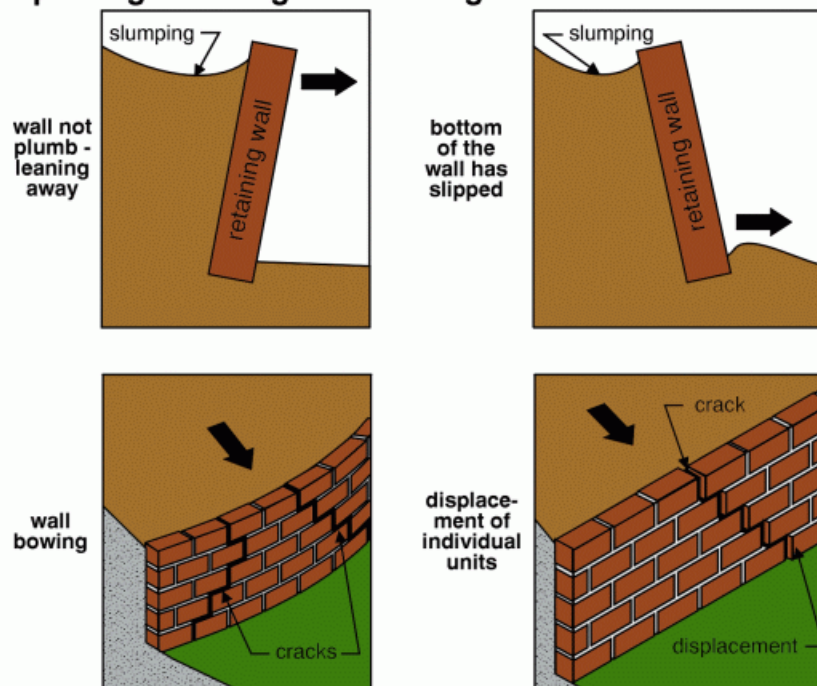
INTERIOR

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Inspecting retaining walls - things to watch for

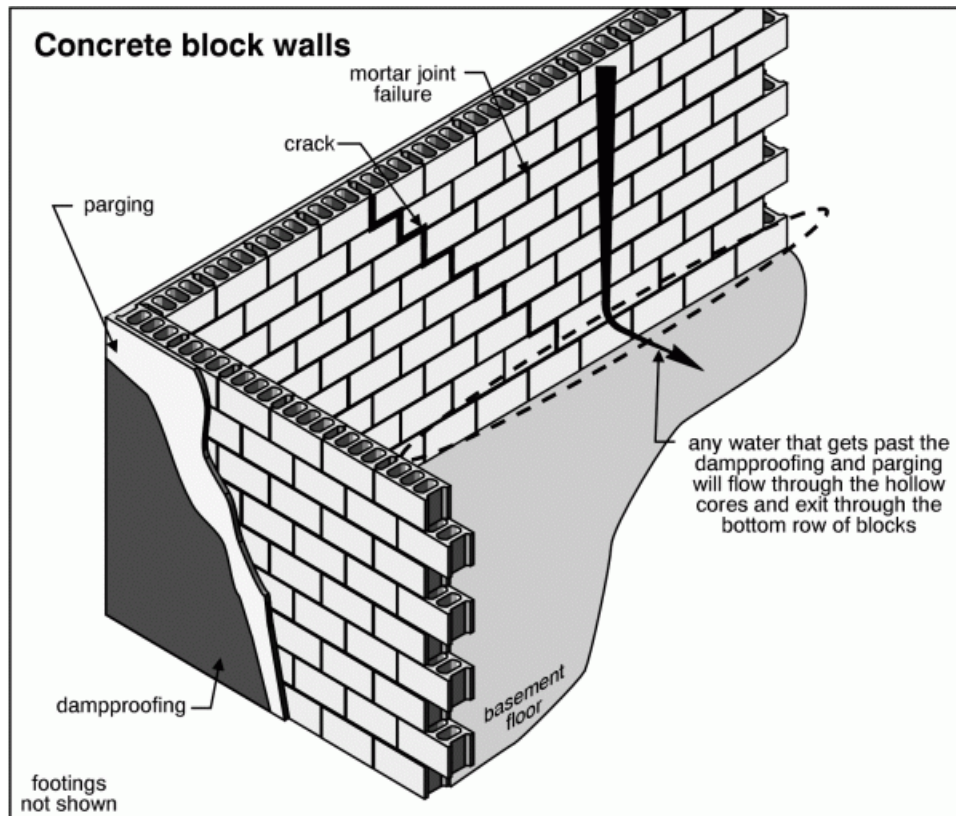


Description

Configuration: • [Basement](#)

Foundation material:

- Masonry block



No Foundation Issues Noted

Floor construction:

- [Joists](#)



Floor Structure Inspected

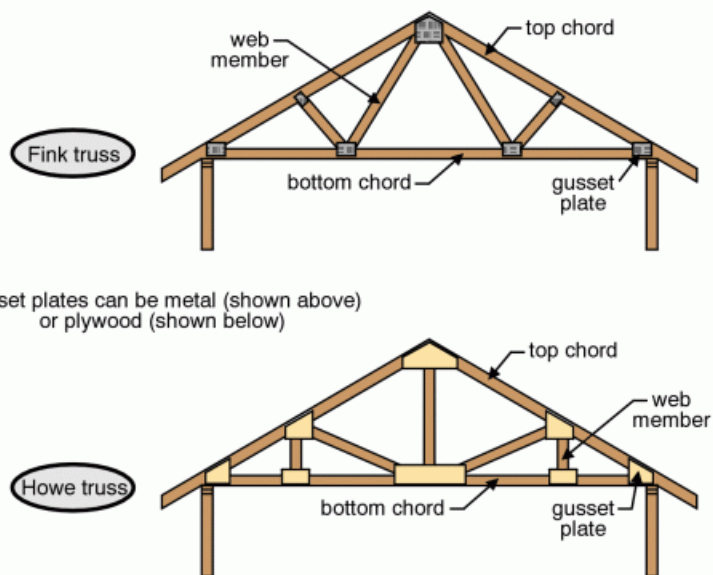
- Steel columns
- Built-up wood beams
- Subfloor - OSB (Oriented Strand Board)

Exterior wall construction: • [Wood frame / Brick veneer](#)

Roof and ceiling framing:

- Trusses
- Attic and associated framing inspected.

Roof trusses - overview



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- [Oriented Strand Board \(OSB\) sheathing](#)

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • New finishes/paint • Insulation

Attic/roof space: • Inspected from access hatch

Recommendations

FOUNDATIONS \ General notes

9. Condition: • [Spalling, crumbling or broken material](#)

Have the garage foundation looked at by a licensed professional.

Protect the area by adding high strength concrete to the areas that are deteriorated, loose, missing. Pack material in place so it is supporting the bottom plate. Use wood as forms to re-build block shape. Continue to monitor and protect. Keep salt away from these areas. This could lead to structural failure if left unattended.

Ensure the old material is sprayed with water before applying new material. This makes for a longer lasting repair and prevents the old material from sucking all the water out of new material that is added.

Implication(s): Weakened structure | Chance of structural movement

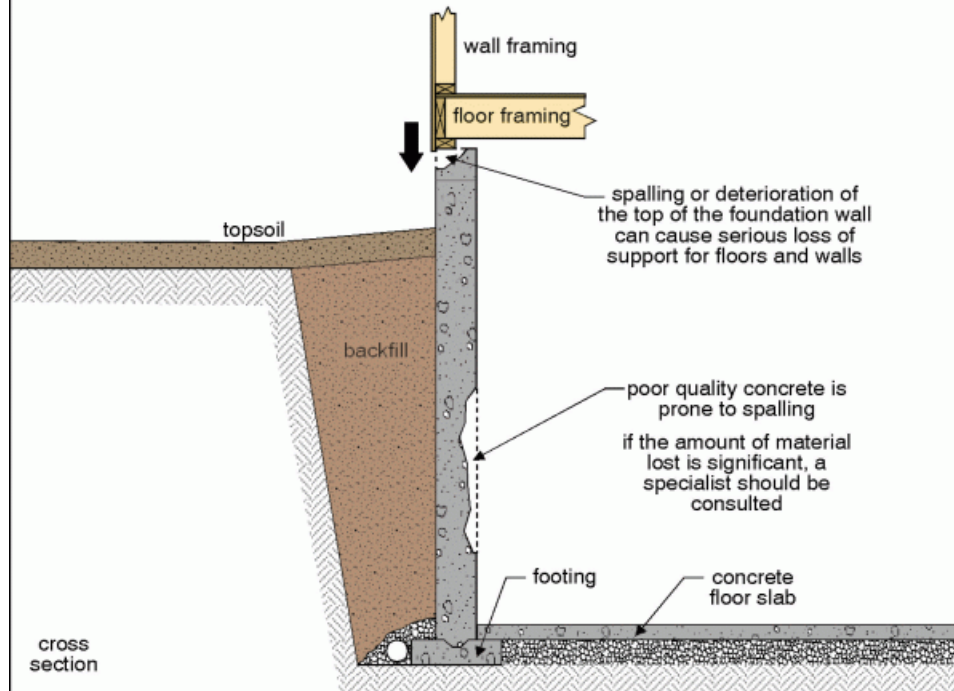
Location: Garage

Task: Repair or replace Further evaluation Improve Monitor

Time: Ongoing asap

Cost: \$50-\$200 For Repair Depends on work needed Depends on approach \$800 and up for replacement

Spalling of poured concrete foundations



Exterior Front



Exterior Front

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Rear Exterior

Description

Service entrance cable and location:

- [Underground aluminum](#)



Electrical Meter

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating:

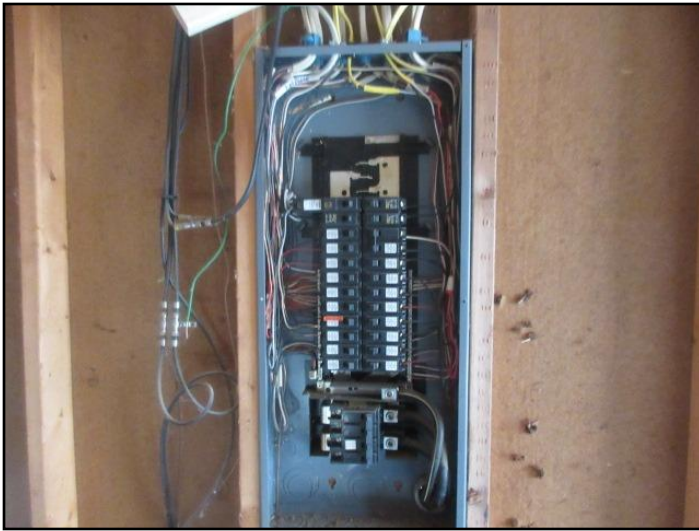
- [200 Amps](#)



Main Electrical Shut Off

Main disconnect/service box type and location:

- [Breakers - garage](#)



Breakers Inspected



Thermal

System grounding material and type: • [Copper - water pipe](#)

Electrical panel manufacturers: • Square D

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

• [GFCIs present](#)

A GFCI is a ground fault circuit interrupter, an inexpensive electrical device that, if installed in household branch circuits, could prevent over two-thirds of the approximately 300 electrocutions still occurring each year in and around the home. Installation of the device could also prevent thousands of burn and electric shock injuries each year. The GFCI is designed to protect people from severe or fatal electric shocks. Because a GFCI detects ground faults, it can also prevent some electrical fires and reduce the severity of others by interrupting the flow of electric current. The GFCI, is a fast-acting circuit breaker designed to shut off electric power in the event of a ground-fault within as little as 1/40 of a second. It works by comparing the amount of current going to and returning from equipment along the circuit conductors.

Ground fault circuit interrupter

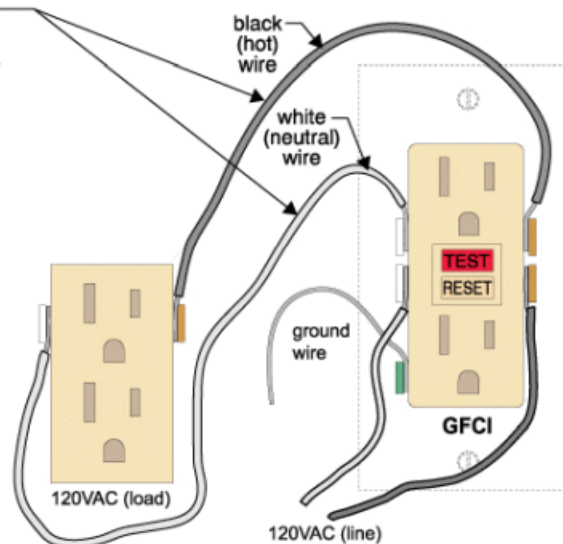
also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

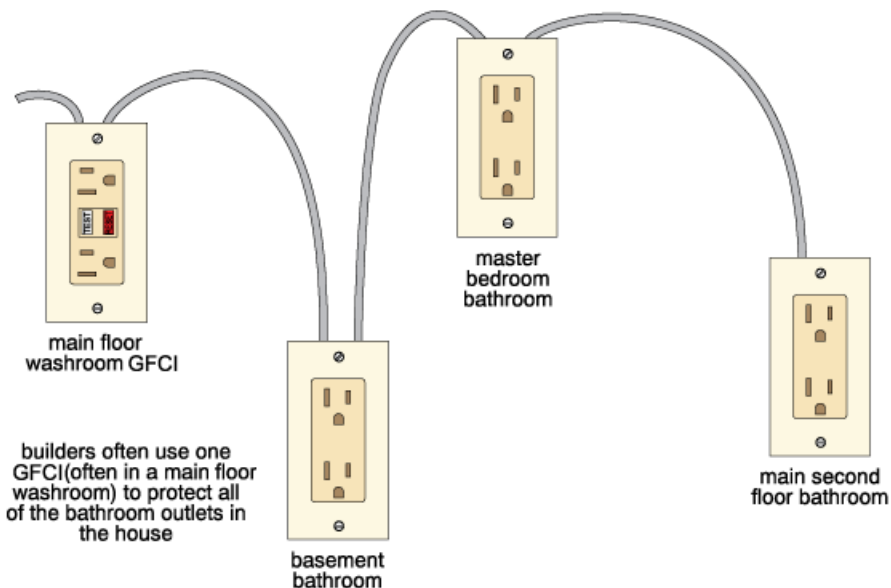
if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



GFCIs can protect ordinary outlets downstream



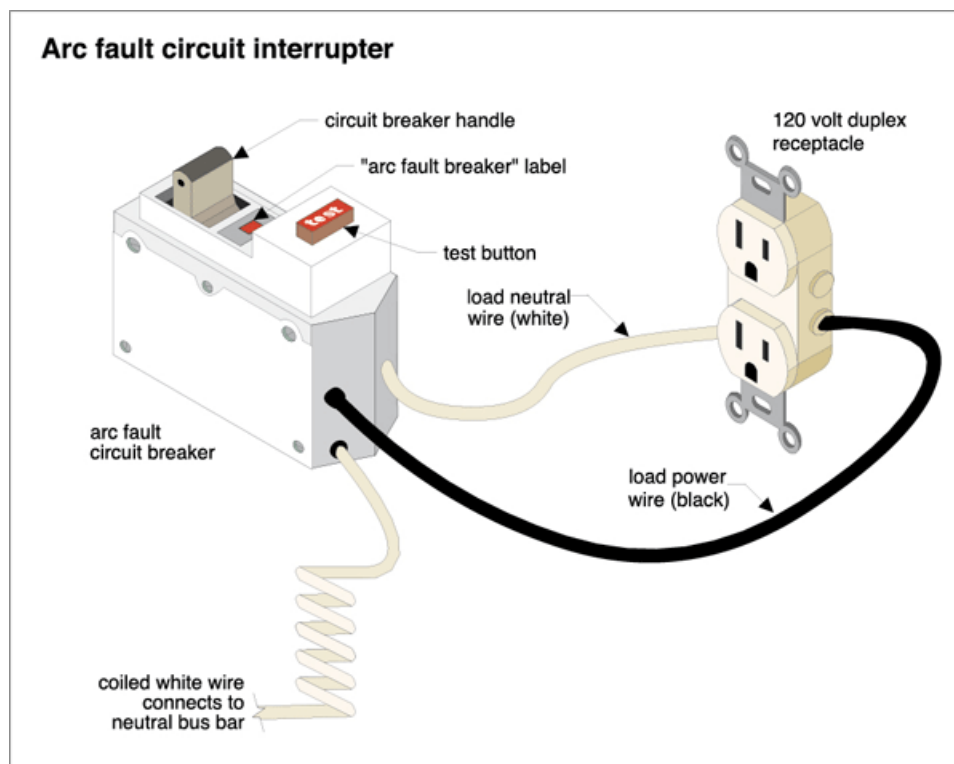
- [GFCI - bathroom](#)

Master bath is tied to common bath for reset. The master bath also has two more gfcI outlets added that reset at there own location.

- [GFCI - basement](#)



- [GFCI - exterior](#)
- [GFCI - garage](#)
- [GFCI - kitchen](#)
- [GFCI - panel](#)
- GFCI - laundry room
- [AFCI - panel](#)



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*Combination GFCI/AFCI Tested***Smoke alarms (detectors):** • [Present](#)**Carbon monoxide (CO) alarms (detectors):** • Present

Limitations

System ground: • Continuity not verified**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.**Not included as part of a building inspection:** • Remote control devices • Low voltage wiring systems and components • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms

Recommendations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

10. Condition: • [Damage](#)

Replace the affected outlets and continue to monitor for future issues in these locations.

Implication(s): Electric shock | Fire hazard**Location:** Front of Home Second Floor Bedroom**Task:** Replace**Time:** Asap**Cost:** Less Than \$50 Depends On Approach Up to \$150



Damaged Outlet



Few Outlets Bent Same Room

DISTRIBUTION SYSTEM \ Cover plates

11. Condition: • [Loose](#)

Outlets need to be secured to junction box and junction box secured to structure. Ensure outlets are re-secured to prevent potential wiring faults.

Implication(s): Electric shock

Location: Various

Task: Improve

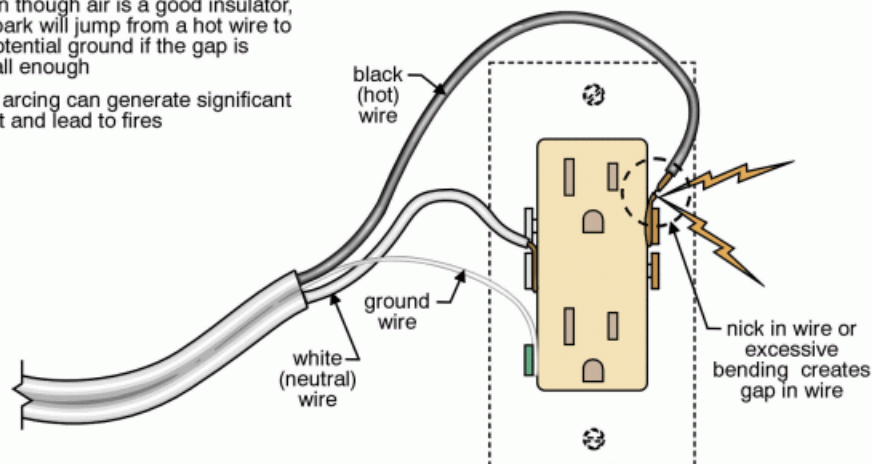
Time: Asap

Cost: Less Than \$50

Arcing and sparks

even though air is a good insulator, a spark will jump from a hot wire to a potential ground if the gap is small enough

this arcing can generate significant heat and lead to fires

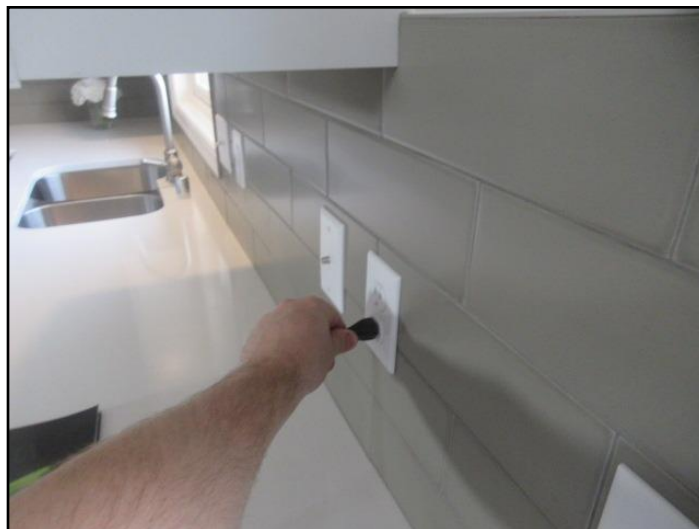




Loose Rear Deck Outlet



Loose Main Floor Bath Outlet



Loose Kitchen Outlet

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

12. Condition: • Missing

Co detectors needed on each level and with in 10 feet of bedroom. I did not find bsmt level co detector present. Add bsmt. combo smoke/co detector.

Location: Basement

Task: Replace

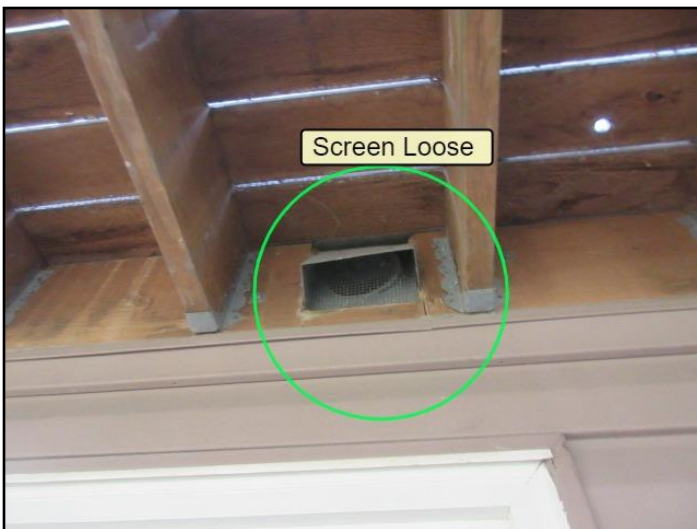
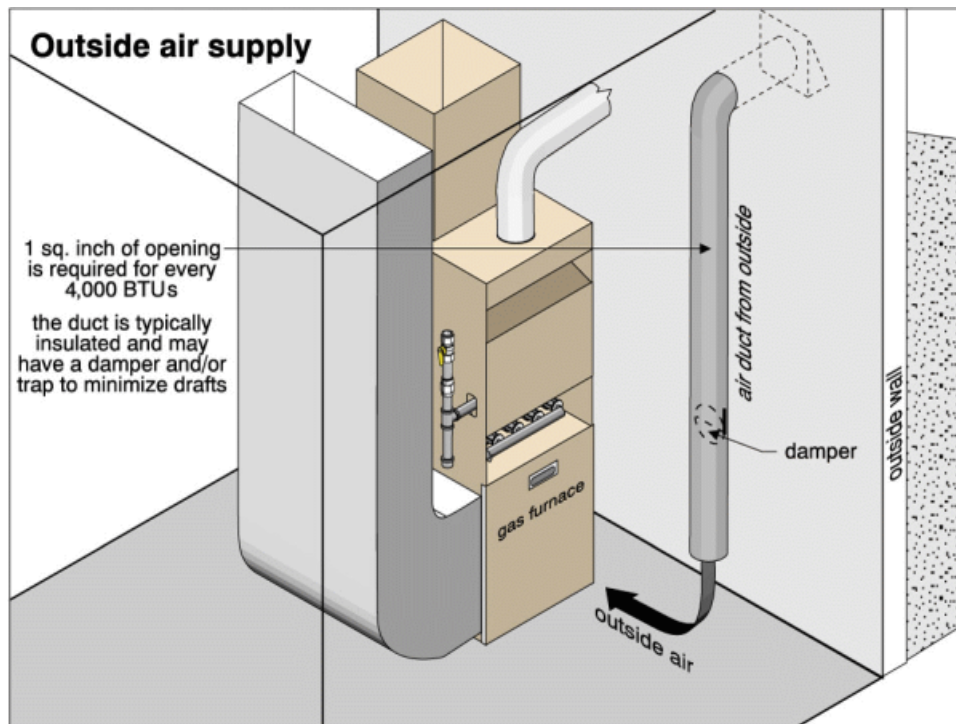
Time: Immediate

Cost: Less Than \$50

Description

General:

- The house will be under negative pressure at times and pull air into the home through your fresh air inlet. This exterior inlet screen gets dirty and can clog. Clean annually or as needed, located on the exterior of home. The supply duct can be hooked into a "J" shape or placed in a 5 gallon pale to prevent cold air spilling over the concrete floor, thus radiating coldness. Tape or zip ties can be used to secure into shape.



System type:

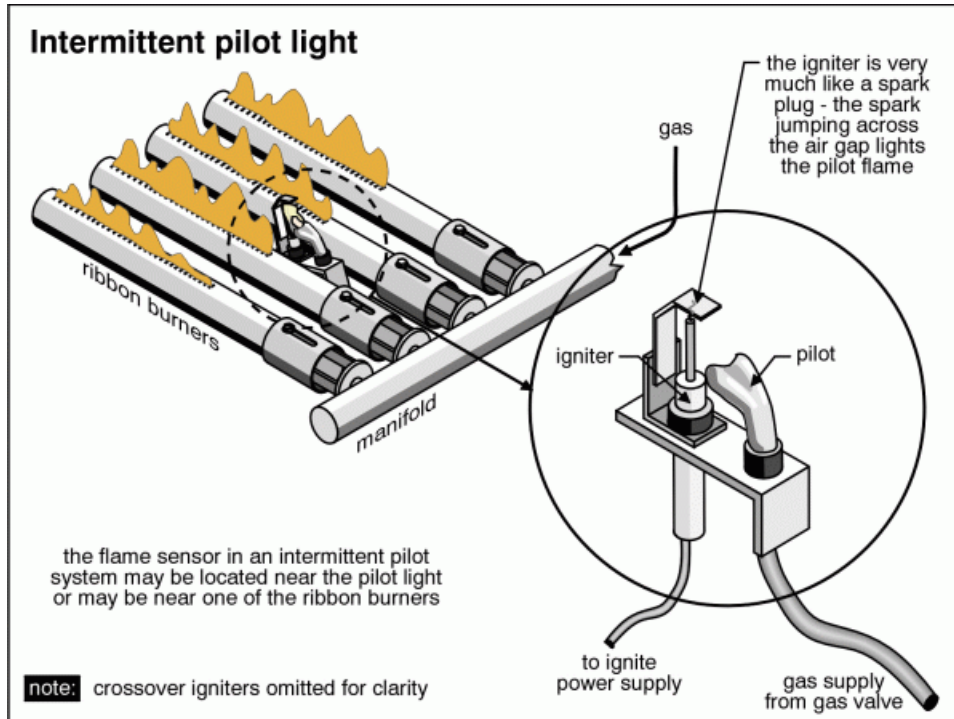
- [Furnace](#)

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MORE INFO	REFERENCE								

- [Click Here For A Video \(Right Click Open New Tab/Window\)](#)

Maintaining Your Furnace

Thermocouples, ignitors, and flame sensors are inexpensive components that should be replaced, as needed, under annual maintenance and servicing. They can often lead up to pricey repair costs if they go out during inconvenient times which they tend to do so. The typical life expectancy of these components is around 7 years and can be very difficult to view without intrusive means.



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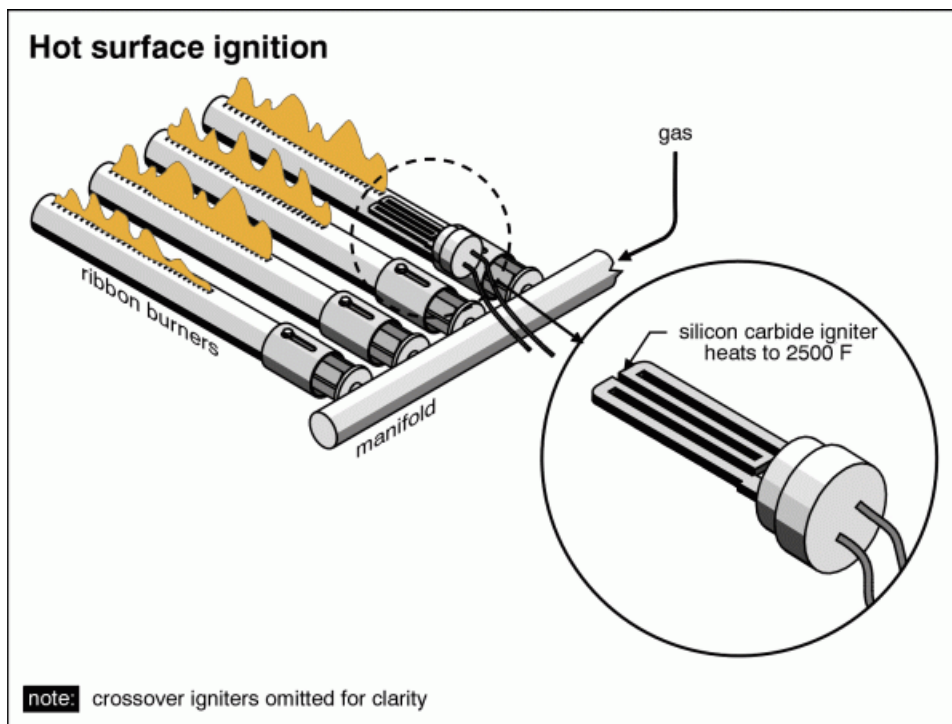
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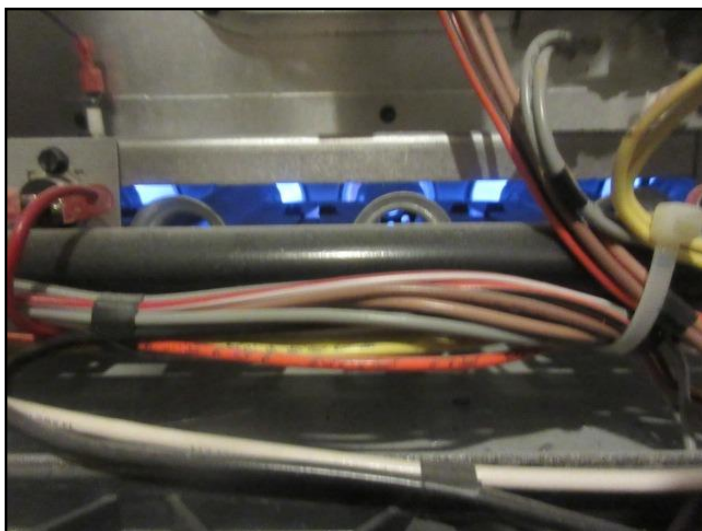
Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• York

Serviced Nov 2019.

Model number: TM8E100C16MP11A Serial number: W1G9101193



Furnace Operated



Furnace Inspected

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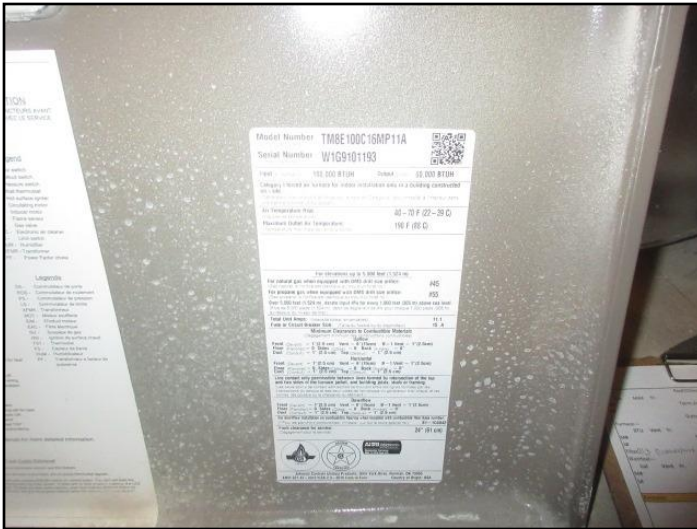
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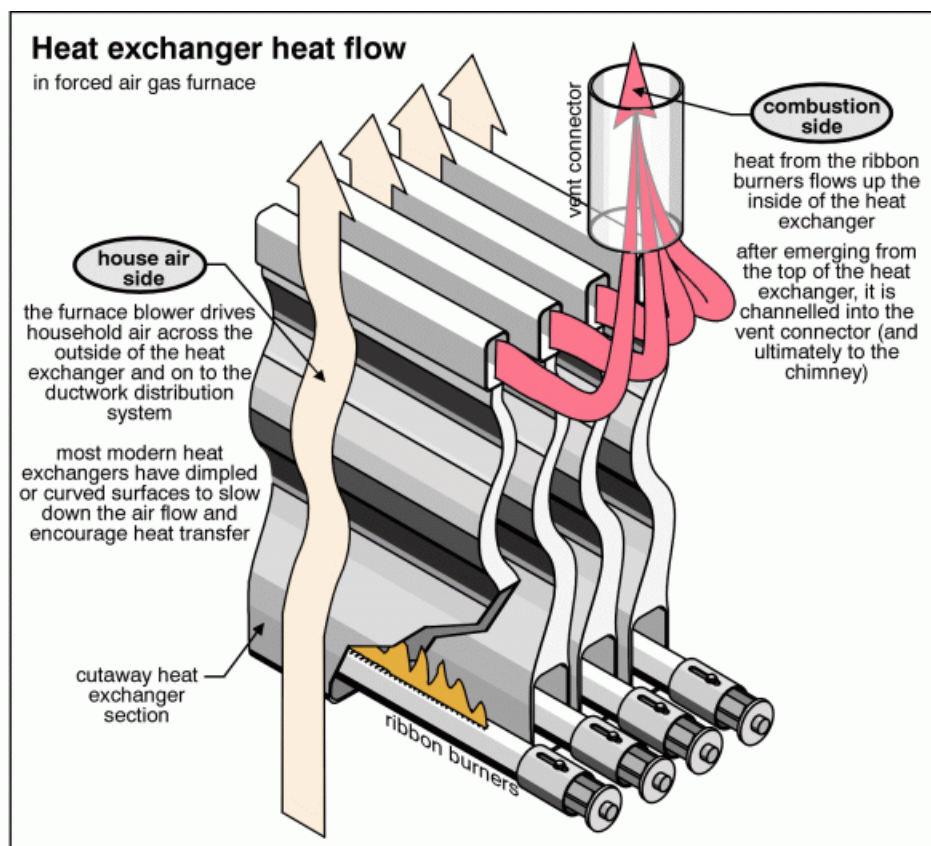


Data Plate



Combusting @ 15 PPM's

- Static Pressure Test
Not performed limited access.



Heat distribution:

- Consider duct cleaning as routine maintenance, as it provides great benefits. On average it will cost \$200-\$600.

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Creates a Cleaner Living Environment.

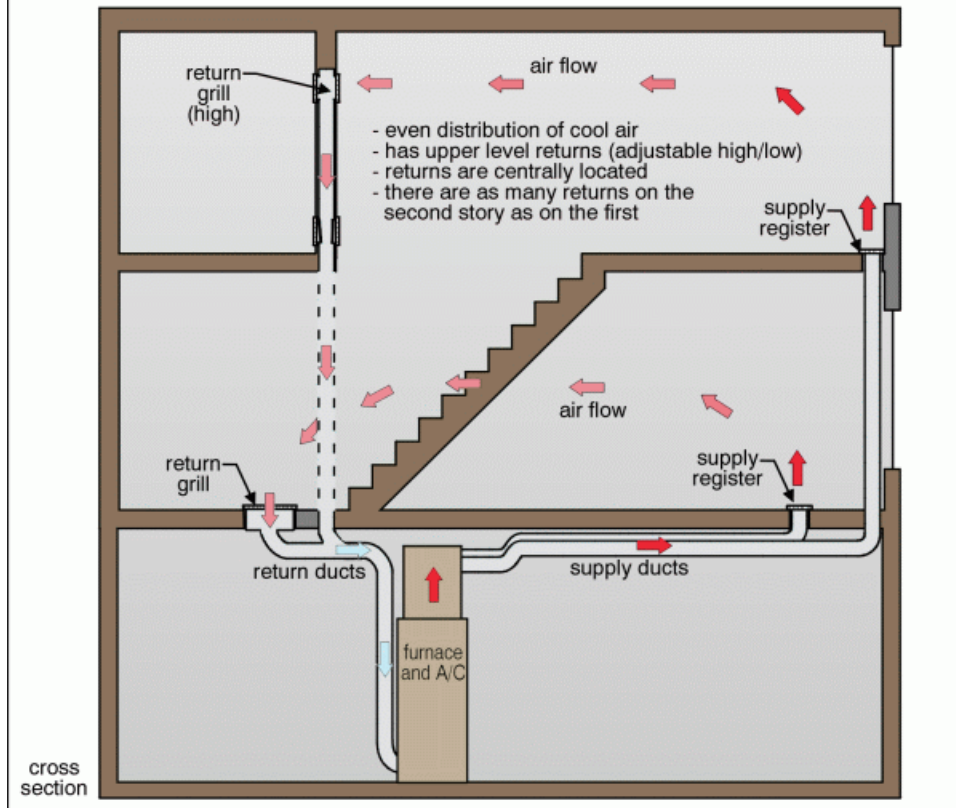
Reduces Allergens and Irritants.

Helps Everyone Breathe Easier.

Removes Unpleasant Smells and Odors.

Improves Air Flow Efficiency.

Flow of cooled air - modern ductwork



Approximate capacity: • 103,000 BTU/hr

Efficiency:

• Mid-efficiency

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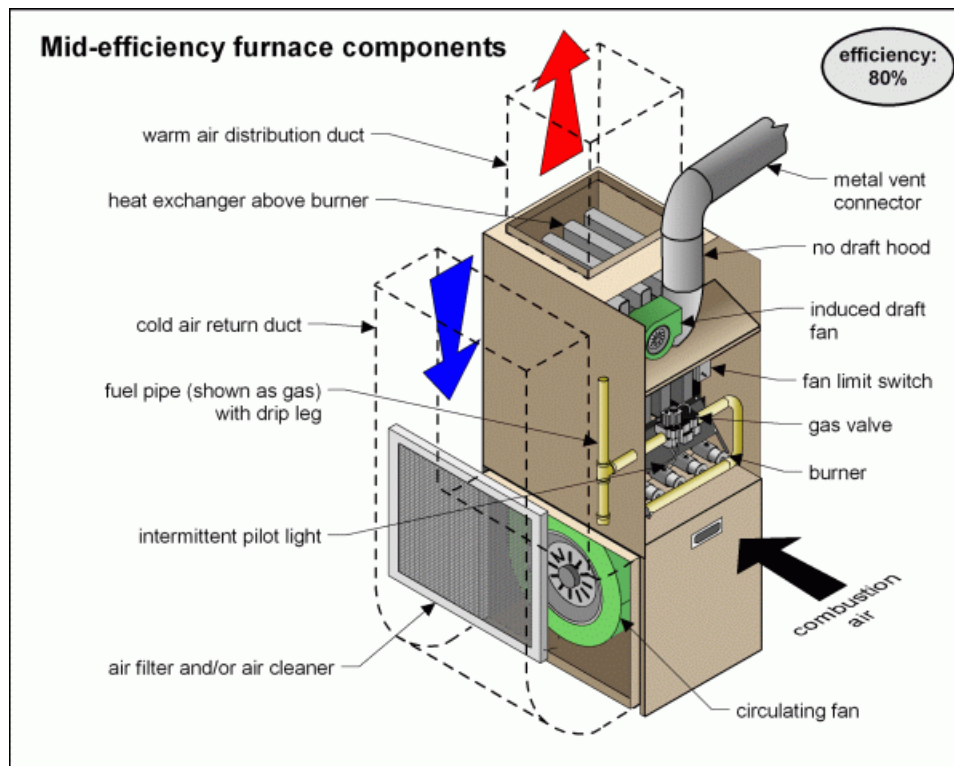
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Combustion air source: • Interior of building

Approximate age: • [1 year](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Main fuel shut off at:

• Meter



• Basement

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Main Gas Shut Off

Failure probability: • [Low](#)

Supply temperature:

- 125°
- Rounded to nearest 5 degrees



Return temperature:

- 70°
- Rounded to nearest 5 degrees

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Temperature difference: • 55° • Rounded to nearest 5 degrees

Air filter:

- Disposable

Maintenance reminder;

For every 1" of thickness that is one month of clean air quality. Change accordingly with the least expensive filters.

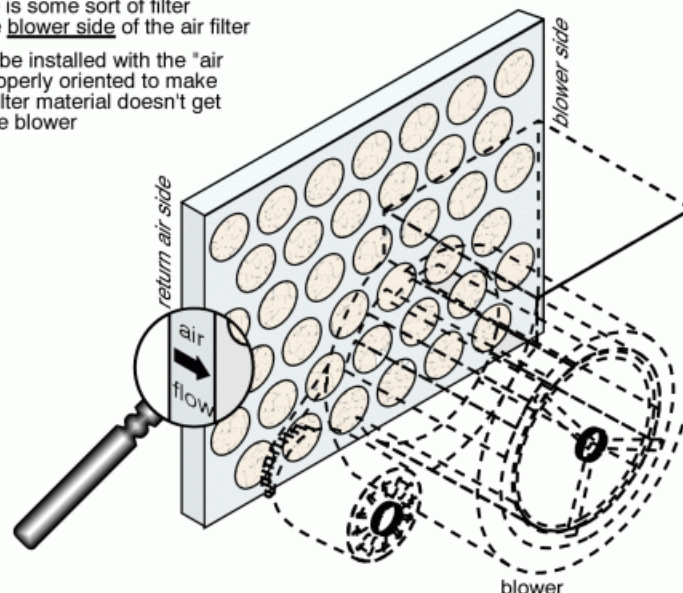
Higher end or allergen free filters can cause too much stress on blower motor. MERV 5 and below with monthly changes recommended.

This is the preferred method, recommend converting into 1".

Air filter orientation

typically, there is some sort of filter support on the blower side of the air filter

the filter must be installed with the "air flow" arrow properly oriented to make sure that the filter material doesn't get sucked into the blower



- Washable

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- 4" thick

Clean every 3 months and replace media annually.

Disposable filters 1" thick MERV 5 and under is recommended.



Model 213

Exhaust pipe (vent connector): • Type B • Galvanized steel

Fireplace/stove:

- Electric fireplace



Electric Fireplace Operated

Carbon monoxide test:

- 0 parts per million - approximate

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- [Click Here For More Information On Carbon Monoxide \(Right Click Open New Tab/Window\)](#)

Carbon Monoxide Exposure Levels

0 PPM Normal, fresh air with no CO

10 PPM Possible health effects with long-term exposure

25 PPM Can be exposed for 8 hours in workplace

35 PPM Typical low alarm set point (Co Detectors)

50 PPM Maximum possible exposure in workplace

100 PPM Slight headache after 1-2 hours

200 PPM High alarm set point; dizziness, nausea, fatigue

400 PPM Life Threatening in and around 3 hours

800 PPM Dizziness and headache after 45 minutes

1,000 PPM Loss of consciousness after 1 hour

1,600 PPM Dizziness in 20 minutes, death in 1 hour

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	RADON
MORE INFO	REFERENCE								

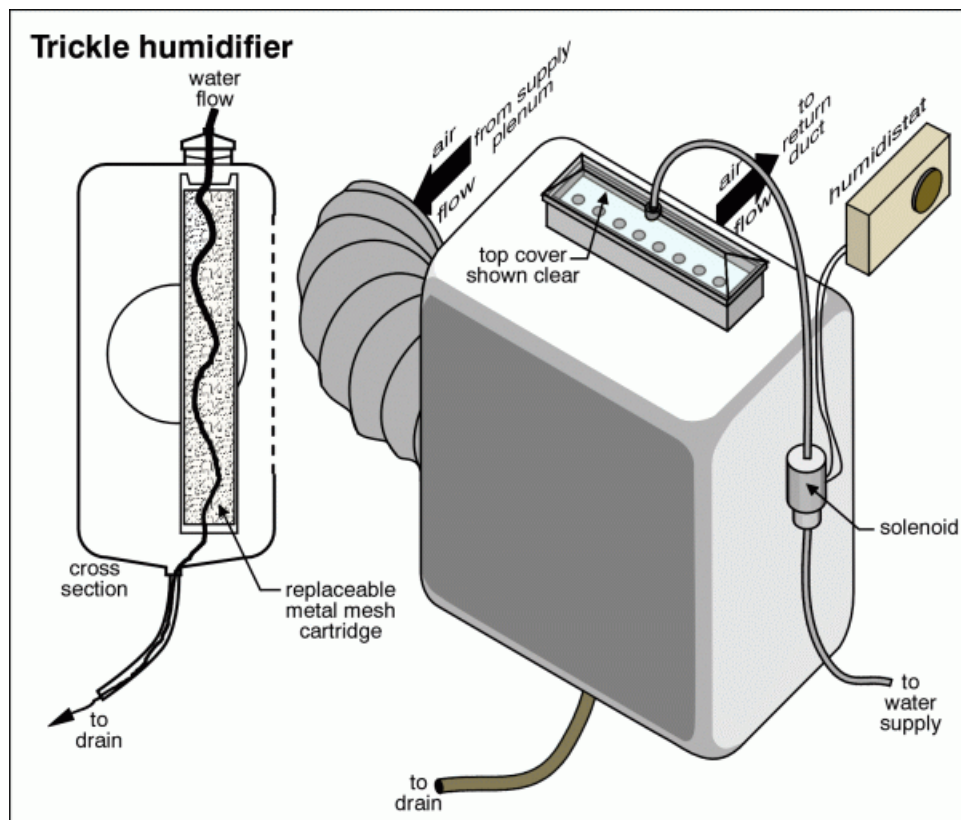
Humidifiers:

• [Duct mounted bypass humidifier](#)

A small electric valve at the top controls the water supply to the humidifier. When the humidistat (thermostat control) calls for water, the valve opens, trickling water down a honeycomb-like metal pad. Air blows across the pad, picking up moisture. Dispersing that moist air to relieve the winter dryness affects and giving interior wood a dose of moisture. Excess water is drained through a hose to a floor drain.

Change water panel annually before winter, and ensure damper and humidistat is on/off depending on if it is winter or not. If condensation appears on windows turn down humidistat a level and re-evaluate in a week. Turn off after winter as well.

Water flow was viewed but the unit is older and should be looked at closer during next servicing. Consider upgrading the unit.



HEATING

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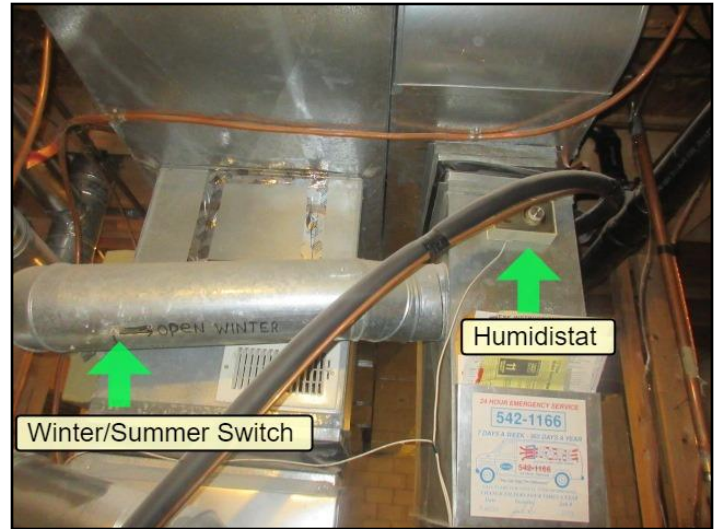
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Humidifier



Humidifier

Location of the thermostat for the heating system:

- First Floor



Thermostat

- [A Video For More Information On Upgrading Your Thermostat\(Right Click Open New Tab/Window\)](#)

You can save \$100-\$200 a year by utilizing a smart thermostat. It is an upgrade that will simply pay off!

See url below for upgrading a home with older wiring.

https://www.youtube.com/watch?v=eAesY_G7AEQ

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Limitations

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Only a small portion visible • Access into furnace cells are limited in size and do not allow for full bore scoping or static pressure testing

Not included as part of a building inspection: • Humidifiers and dehumidifiers

Recommendations

GAS FURNACE \ Ducts, registers and grilles

13. Condition: • [Leaky joints](#)

Re-secure connections with heat foil duct tape.

Implication(s): Increased heating costs | Reduced comfort

Location: Various Basement

Task: Improve

Time: Ongoing

Cost: Less Than \$50



Poor Connection On Humidifier



Duct Tape On Joints

COOLING & HEAT PUMP

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Description

General:

- [Click here for a video \(Right Click Open New Tab/Window\)](#)

AC cleaning guide lines;

Turn the thermostat to off.

Find the electrical disconnect (metal box) near your outside unit, usually on an exterior wall.

Open the electrical disconnect and find the switch that turns off the air conditioner. This may be a pullout switch or a circuit breaker shutoff. Simply pull the plug out or flip the switch to the off position.

Use gloved hands to remove any large pieces of debris.

Delicately vacuum the condenser fins with a soft-brush attachment. Be careful not to bend any fins.

Use a water hose sprayer to clean off loose debris (grass, leaves, etc) on the outside unit.

Spray the outside unit with the coil cleaner (found at home store).

Wait 10-15 minutes as the cleaner foams and bonds with the dirt on the coils.

Rinse the coil cleaner off with the hose.

Do this at least once a year, ideally before summer use.

Consider covering your exterior AC unit during the colder seasons to lengthen its life expectancy. Use a cover that is made of breathable material, so moisture does not get trapped to cause rust or decay.



Unit Is Dirty

Air conditioning type:

- Central

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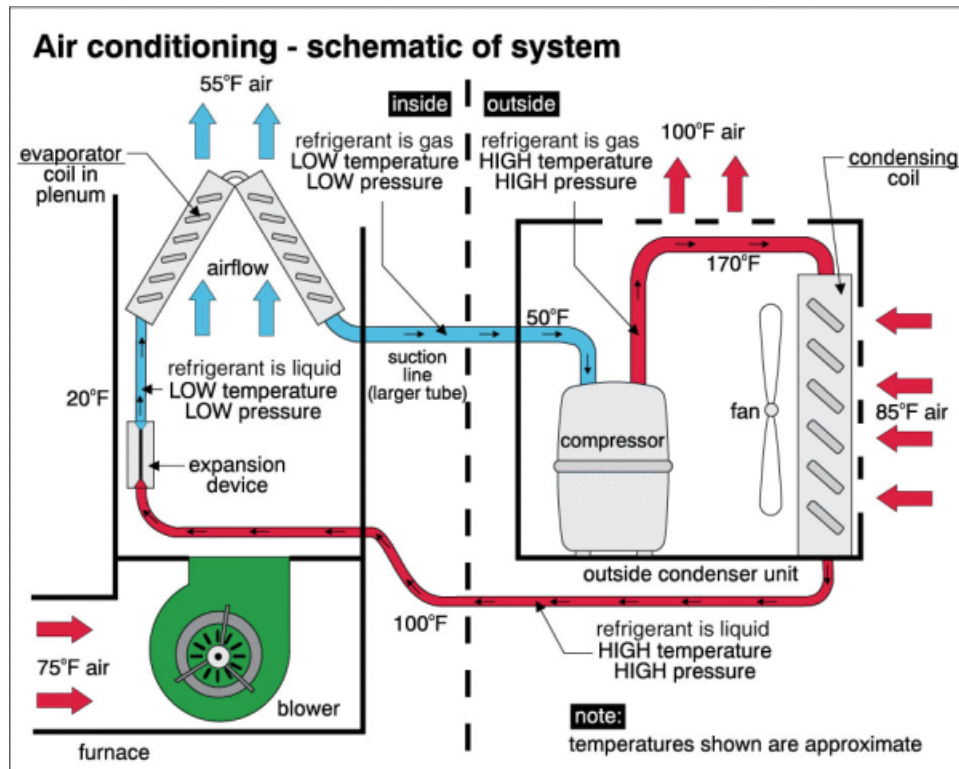
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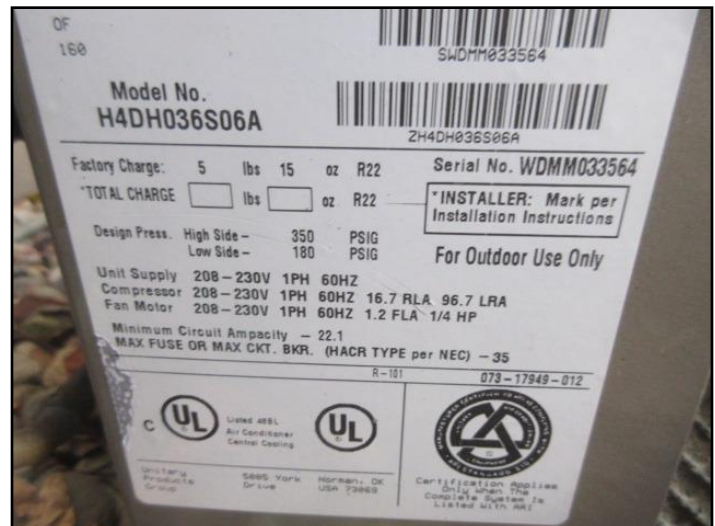
Manufacturer:

- York

Ensure to inquire on discounted billing for having a saver switch present.



AC



Data Plate

COOLING & HEAT PUMP

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Saver Switch Present

Cooling capacity: • [36,000 BTU/hr](#) • 3 Tons

Compressor type: • Electric

Compressor approximate age: • 17 years

Typical life expectancy: • 15-20 Years

Failure probability: • [High](#)

Temperature difference: • Acceptable temperature difference: 14° to 22°

Refrigerant type: • R-22

Limitations

Inspection limited/prevented by: • Low outdoor temperature

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil

Recommendations

RECOMMENDATIONS \ General

14. Condition: • Your ac unit uses R22 refrigerant that is being phased out with a halt in manufacturing January 2020. The supply is still out there but with supply and demand, prices may vary, and unknown timelines of available supply. The unit could be retro fitted to use newer refrigerant 410A but is usually not recommended on older units for cost effectiveness. If it needs or can be charged it may be in your best interest to have it done to get more life out of the unit. Seek your preferred HVAC professional on more information and options.

Replacement Ac - \$2,500-\$6,000

Task: Plan Consult Upgrade

Time: Ongoing When Necessary

COOLING & HEAT PUMP

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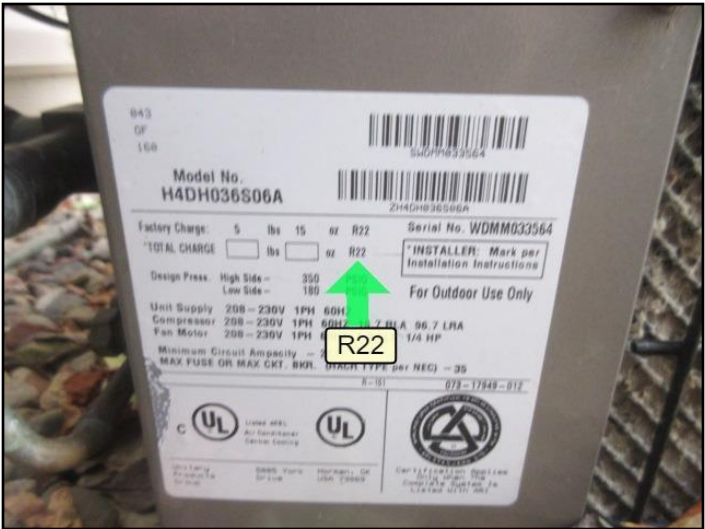
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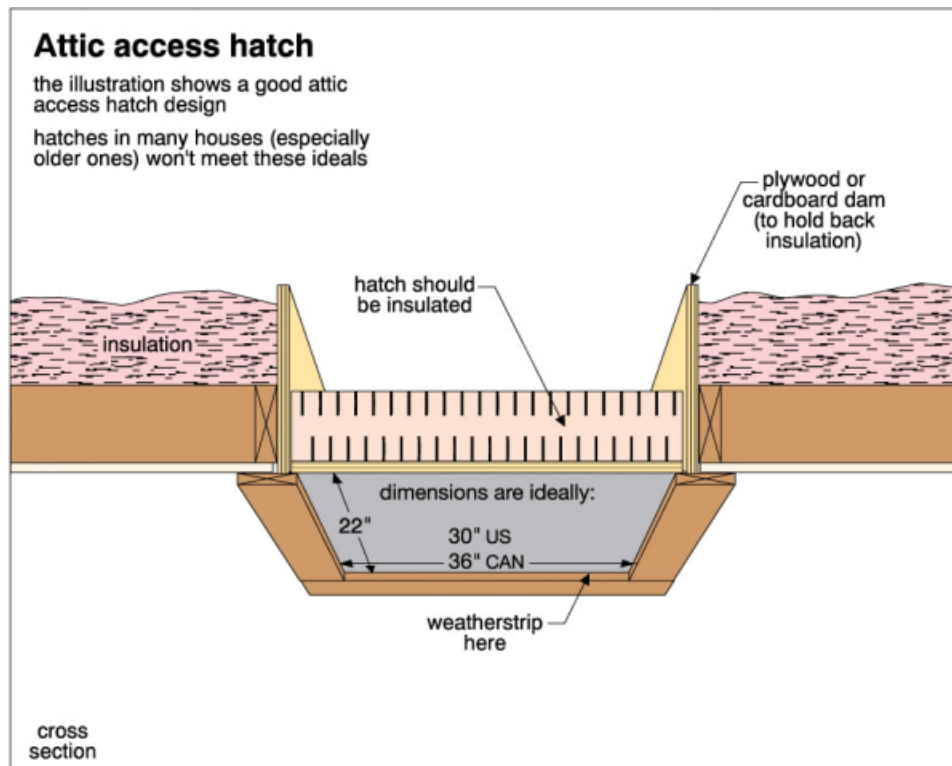
Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value:

- R-50
- 15 inches

Try adding a cardboard scuttle so the insulation could be spread evenly around hatch opening.



Insulation Verified

INSULATION AND VENTILATION

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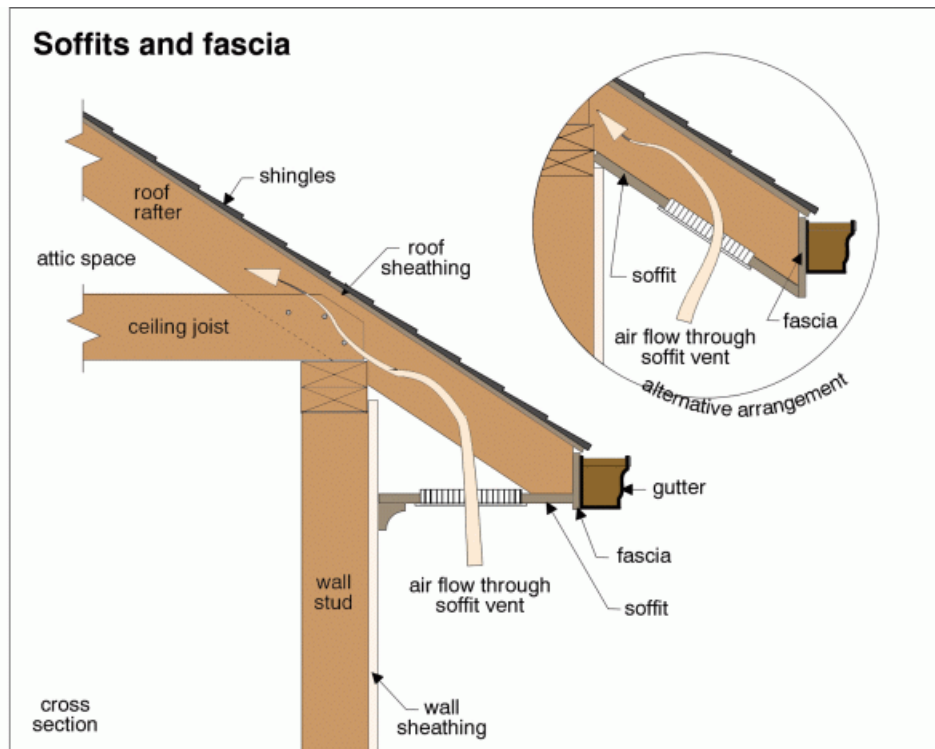
REFERENCE

Attic/roof air/vapor barrier: • [Not visible](#)

Attic/roof ventilation:

- [Roof vent](#)
- Soffit vent

Maintenance reminder to clean your soffit grills every couple years to promote proper air flow into attic.



Wall insulation material: • [Glass fiber](#)

Wall insulation amount/value: • [R-20](#)

Foundation wall insulation material:

- None

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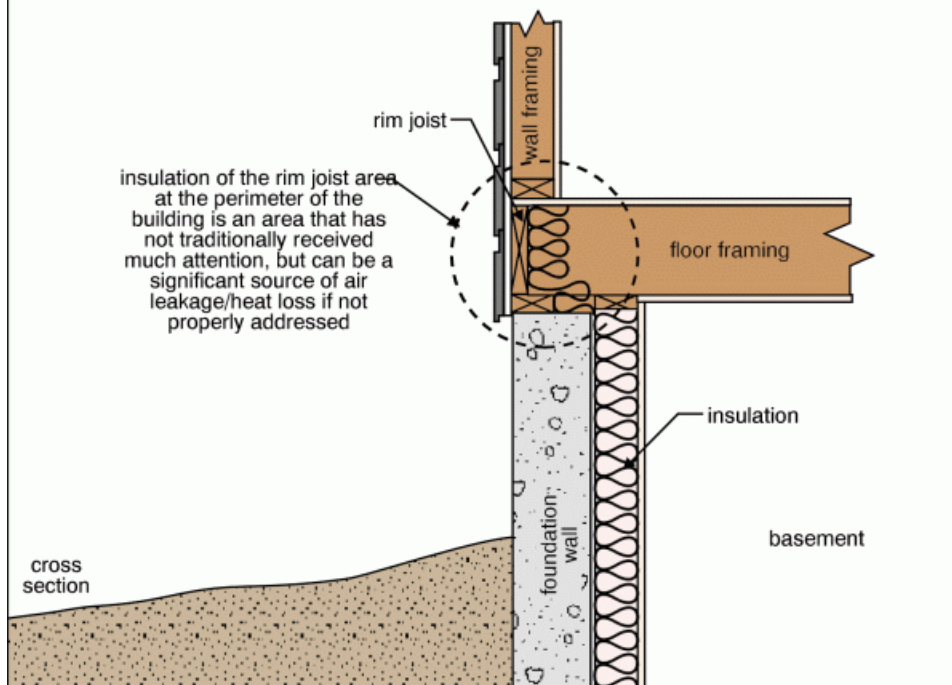
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Rim joist insulation



INSULATION AND VENTILATION

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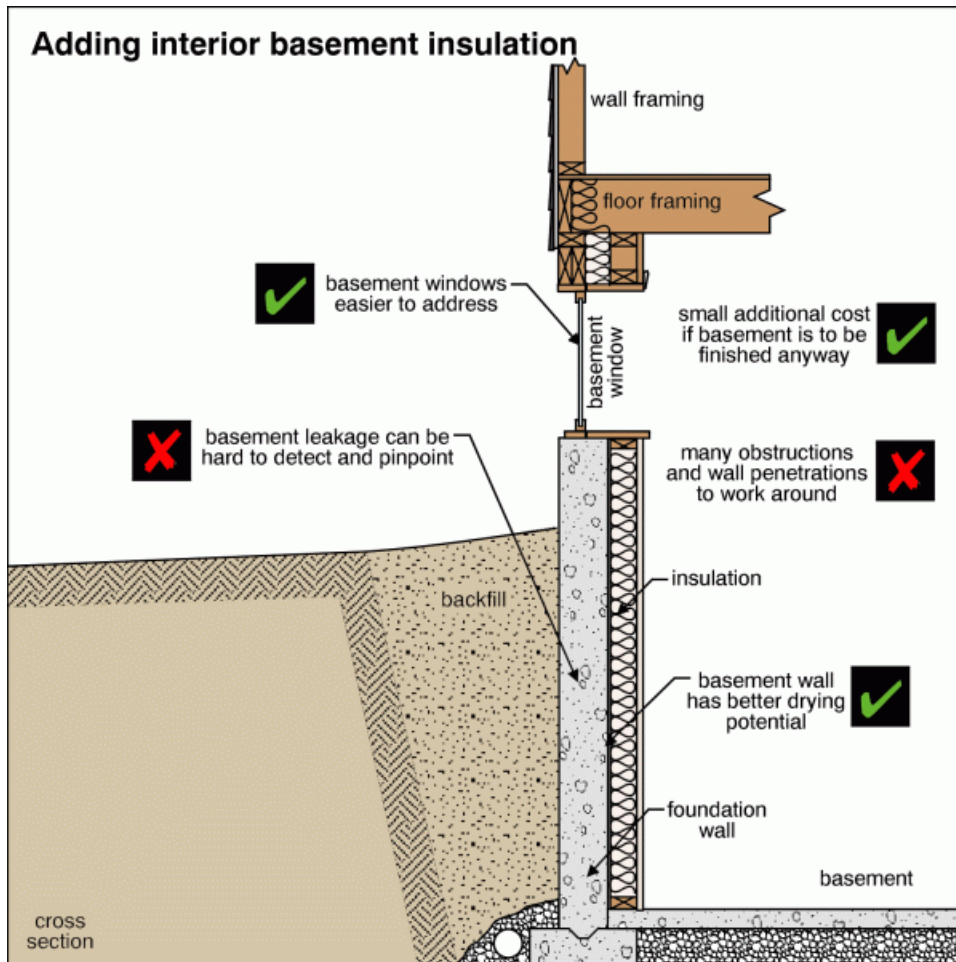
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Foundation wall insulation amount/value: • [None found](#)

Foundation wall air/vapor barrier:

- Plastic

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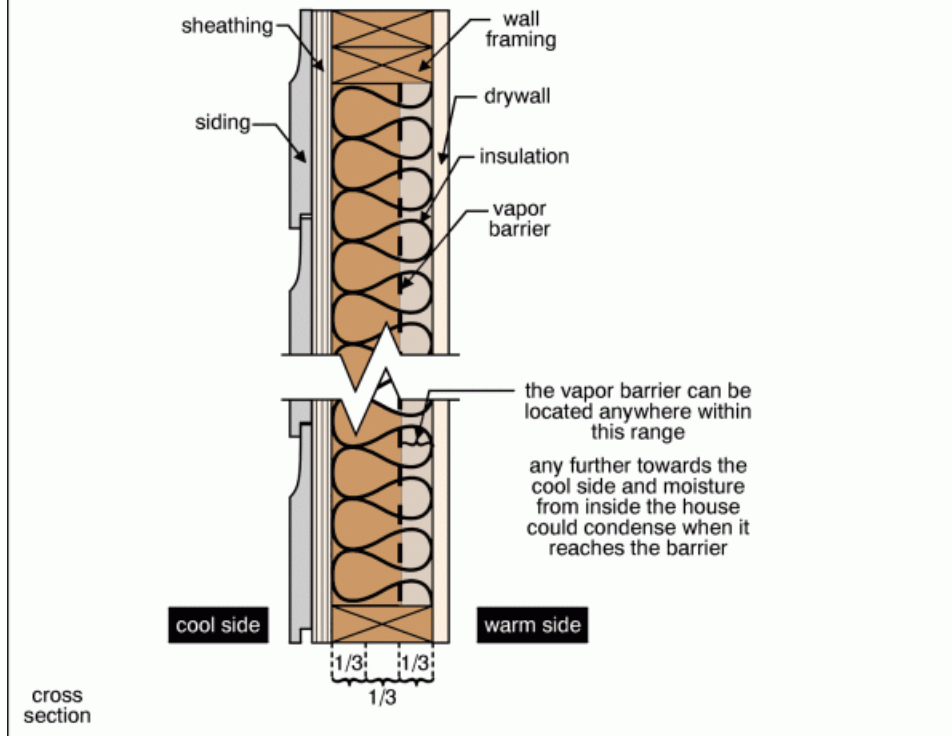
INTERIOR

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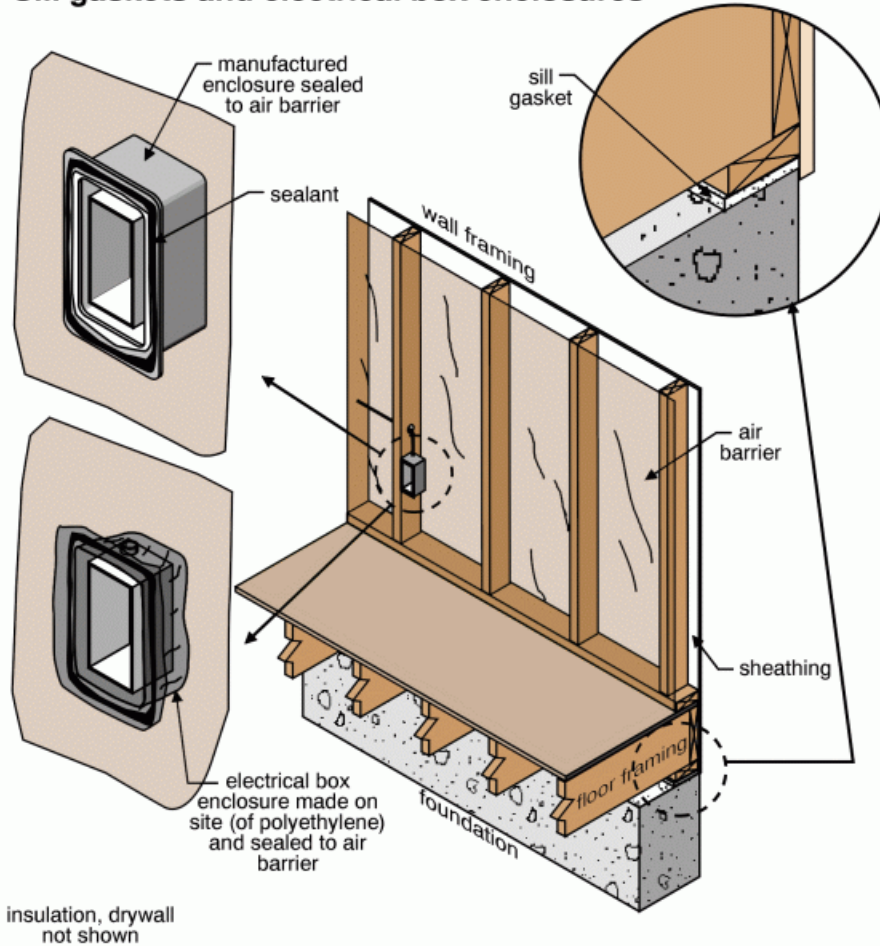
MORE INFO

REFERENCE

Vapor barrier location



Sill gaskets and electrical box enclosures



Vapor Barrier Covers Outlets

INSULATION AND VENTILATION

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Floor above basement/crawlspace insulation amount/value: • [None found](#)

Floor above basement/crawlspace air/vapor barrier: • None found

Limitations

Inspection limited/prevented by lack of access to: • Attic • Roof space • Wall space • Floor space

Attic inspection performed: • From access hatch

Air/vapor barrier system: • Continuity not verified

Not included as part of a building inspection: • Insulation cannot be disturbed

Description

General:

- Plumbing Fixtures

No performance issues noted.



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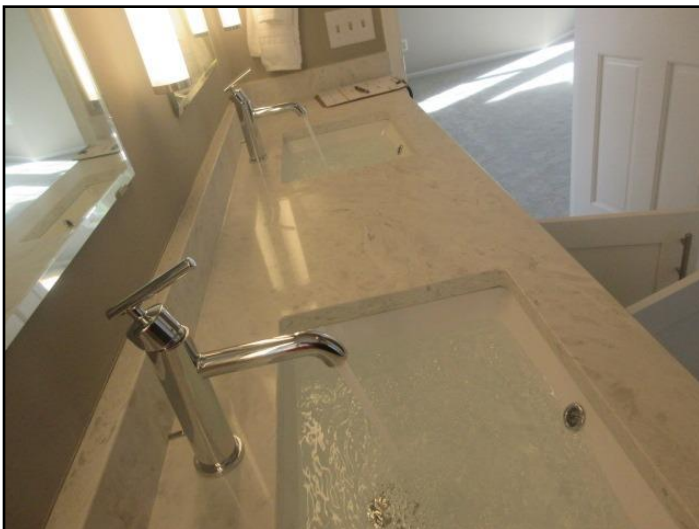
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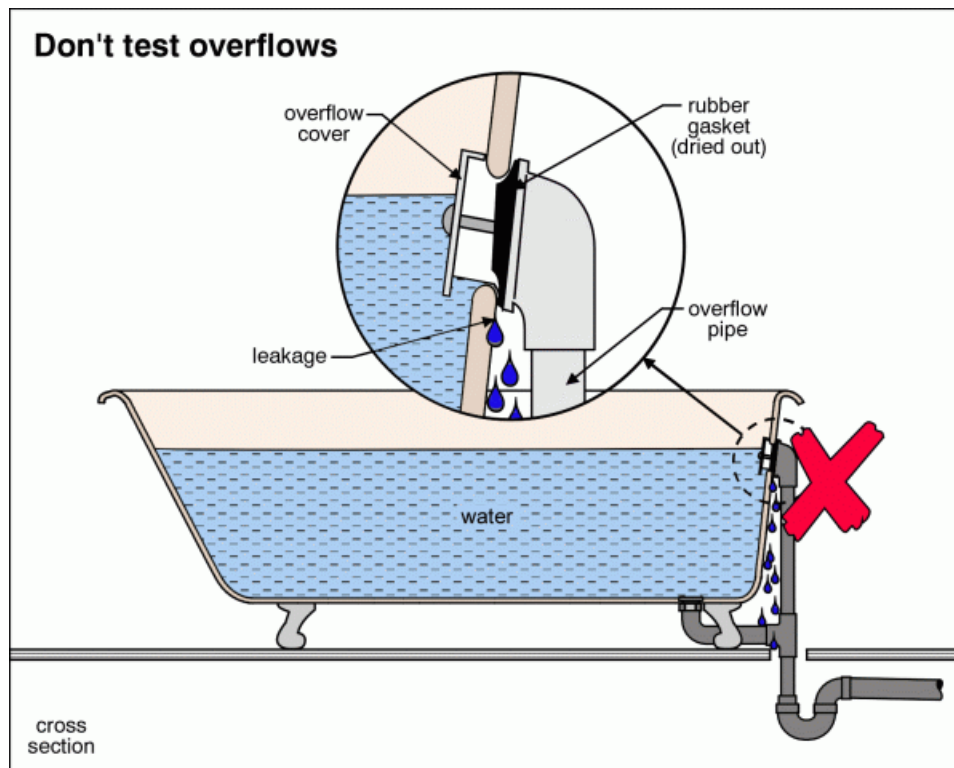
REFERENCE





- Tub overflow tested
TUB OVER FLOW NOT TESTED DUE TO NO ACCESS.

Have access added to be able to check this areas every few years.



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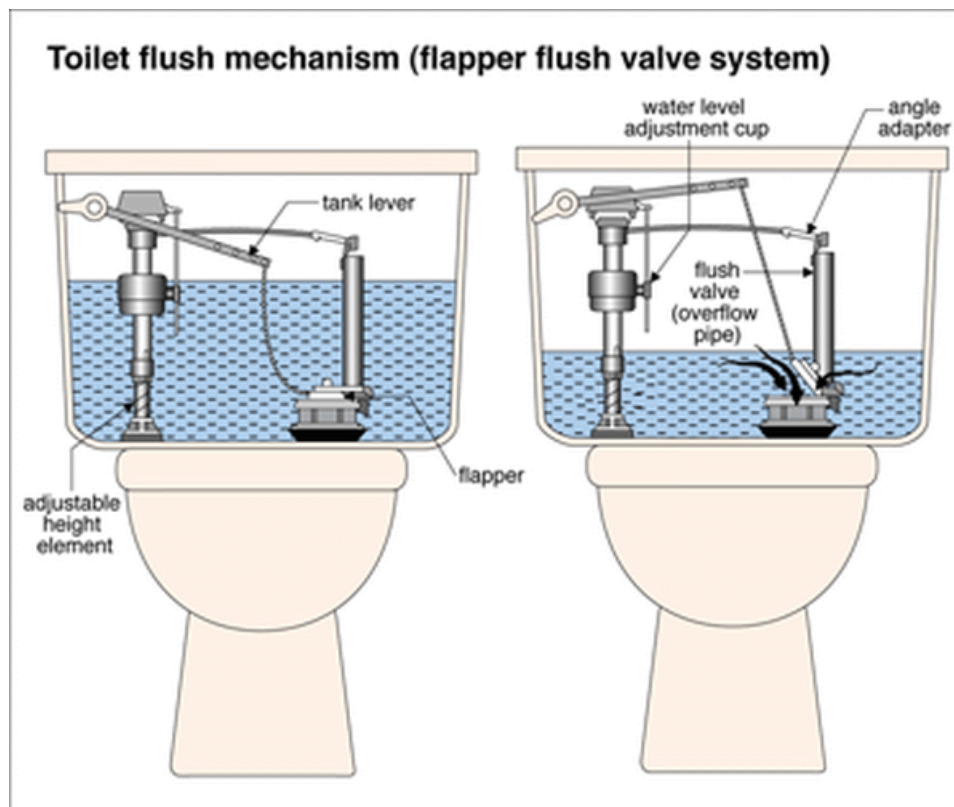


Tub Over Flow Not Tested



Add Access To Master Closet

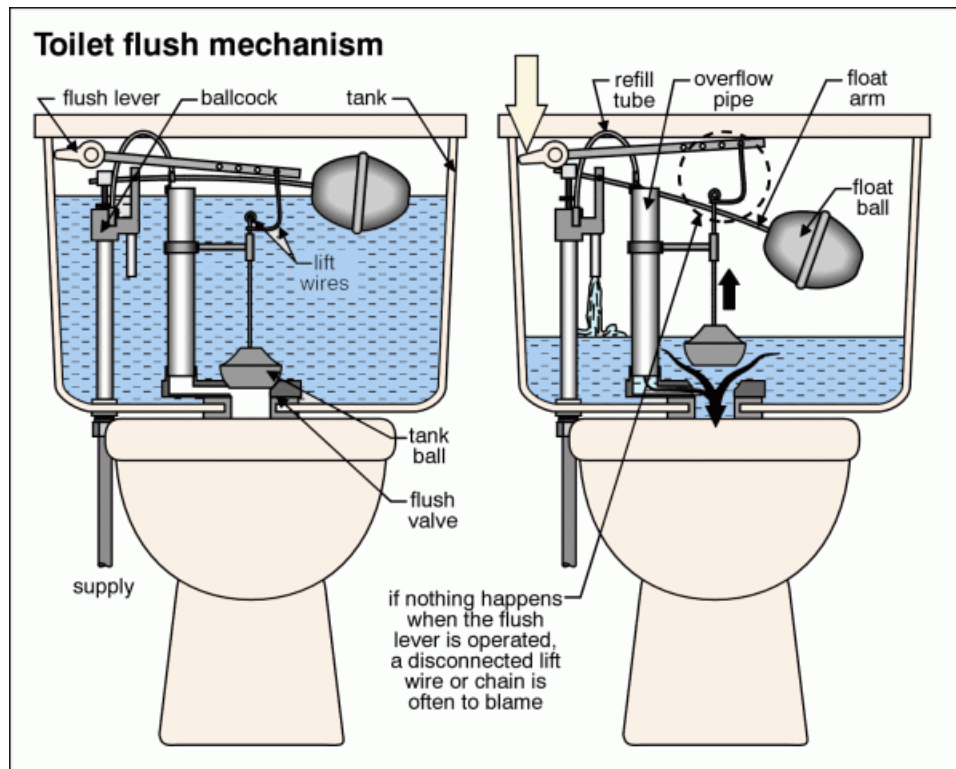
- Toilet Tank Inspected (Flapper)





Toilets Functional

- Toilet Tank Inspected (Ball)





Toilets Functional

• Maintenance reminder

To test for leaks fill sink/tub all the way up or to the over flow. Ensure over flow is draining, if not it can be cleaned with a pipe cleaner/snake. Check the back or underside of overflow to ensure proper functionality. Rubber gaskets/seals do dry out and need replacing overtime. Drain the sink/bath, this allows for maximum pressure against drain pipe walls and to expose any leaks. This should be kept in mind and performed every few years to prevent unnecessary damage to finishes.

Water supply source (based on observed evidence): • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Basement



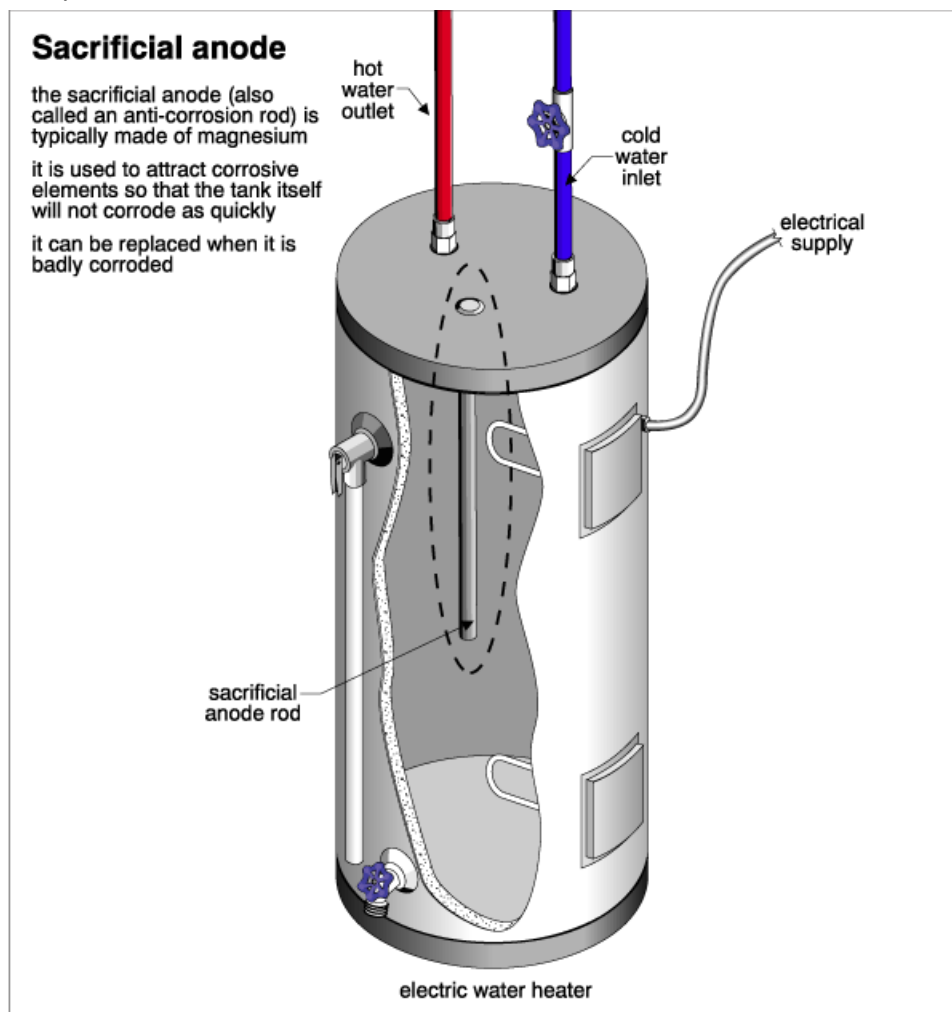
Main Water Shut Off

Water flow and pressure: • [Functional](#)

Water heater type:

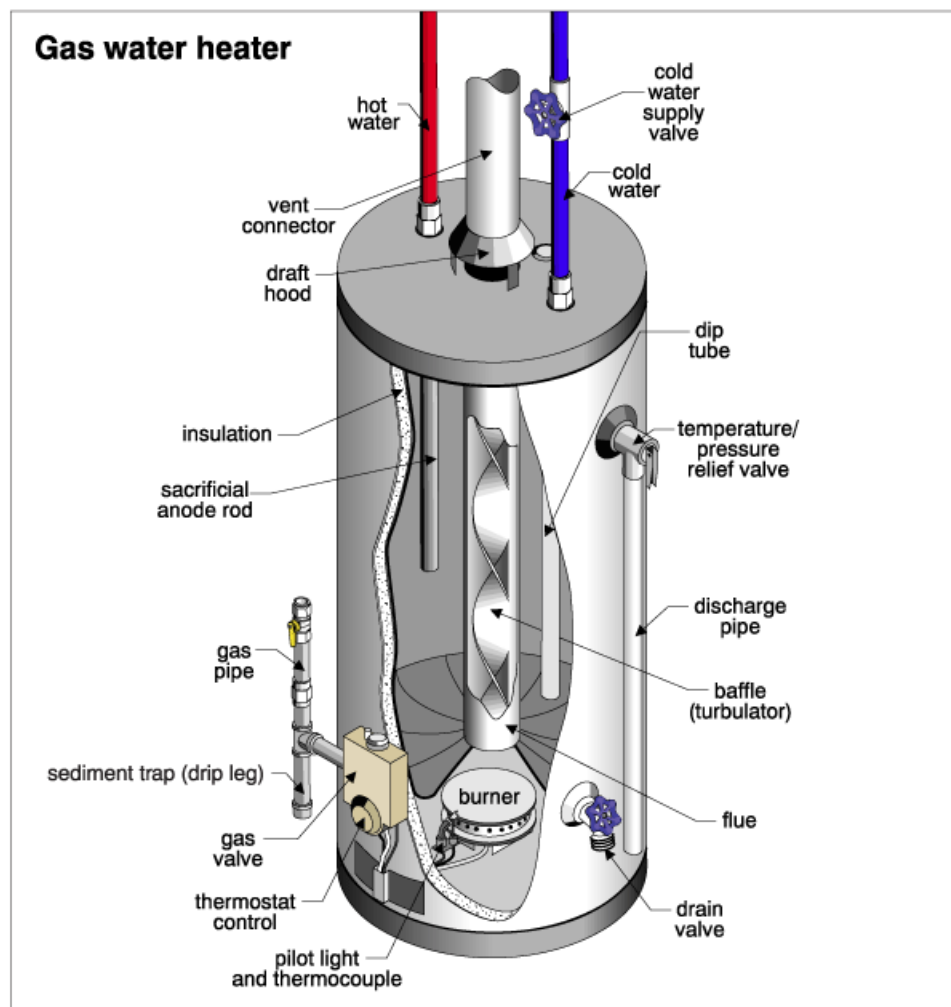
- [Conventional](#)
- [Water heater maintenance Click here for video \(Right Click, Open New Window/Tab\)](#)

On conventional water heaters under 3-5 years of age, it is recommended to add water heater care into your home maintenance plan. Performing maintenance every 1-3 years on water heaters can extend its life expectancy 20-30+ years. Maintenance includes: Draining the tank of sediment, and replacing the sacrificial rod. This is the rod that preserves the tank walls by allowing particles to deteriorate the rod and not the walls. Once the rod is deteriorated, the particles would then focus on the tank walls. If it is not replaced within the 3-5 year time frame, it is often rusted in place and may be difficult to replace it.



Water heater fuel/energy source:

- Gas

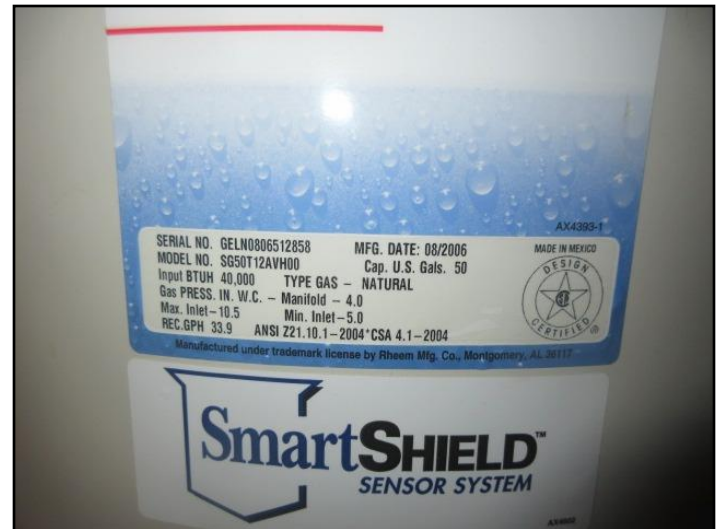
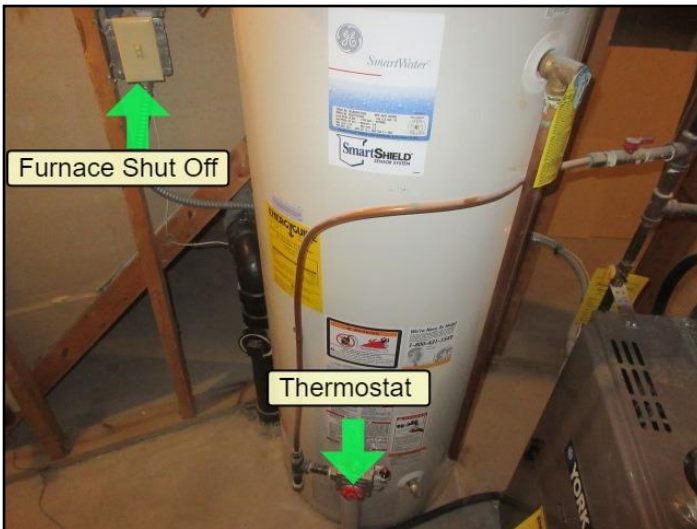


Water heater exhaust venting method: • Natural draft

Water heater manufacturer:

• General Electric (GE)

Model number: 5G50T12AUH00 *Serial number:* GELN0806512858

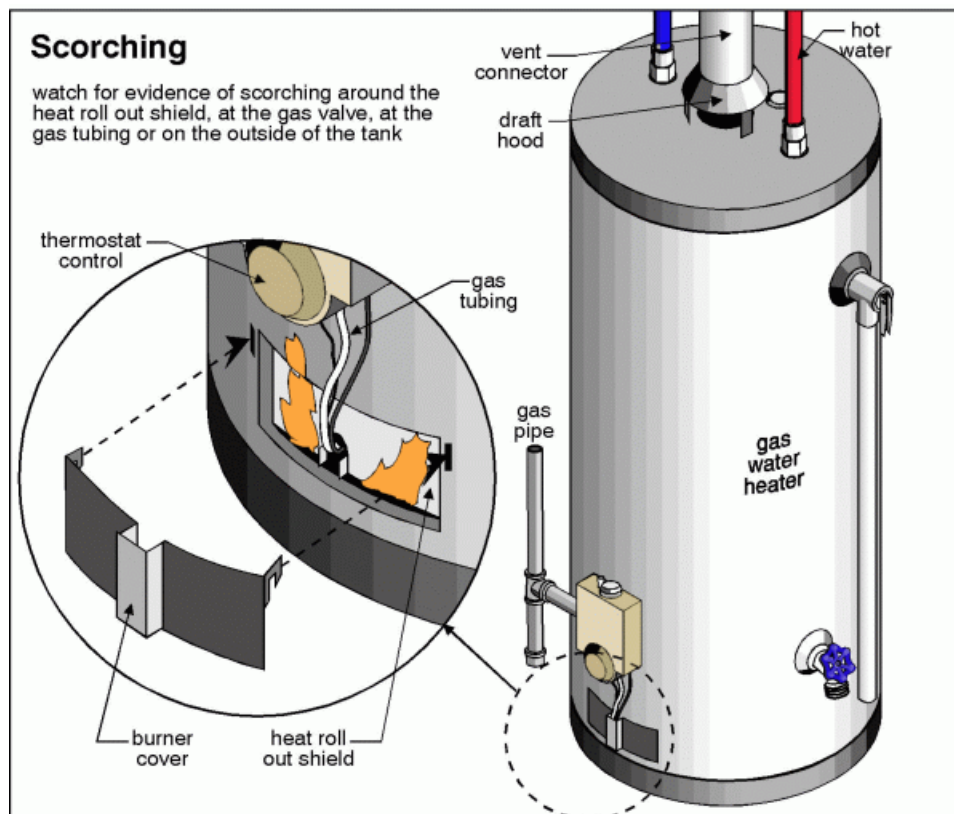


Water Heater

Data Plate

- The burner flames from your natural gas water heater should look blue or almost completely blue. A healthy natural gas furnace flame is characterized by a roaring blue flame with a light blue triangle in its center. There may be a tiny tip of yellow. A blue flame indicates safe and efficient combustion, meaning that the gas is being burned efficiently and not being wasted. Blue flames are hotter and indicate more complete combustion.

If your flame is yellow or orange, or if you see pops of yellow or orange, that is a sign that you have a combustion problem from lack of service or aging unit. Long streaks of any color, such as yellow, orange, or green means your water heater may need adjustment or cleaning from a professional HVAC technician.





Burner Performance Viewed

Water heater tank capacity: • 50 gallons

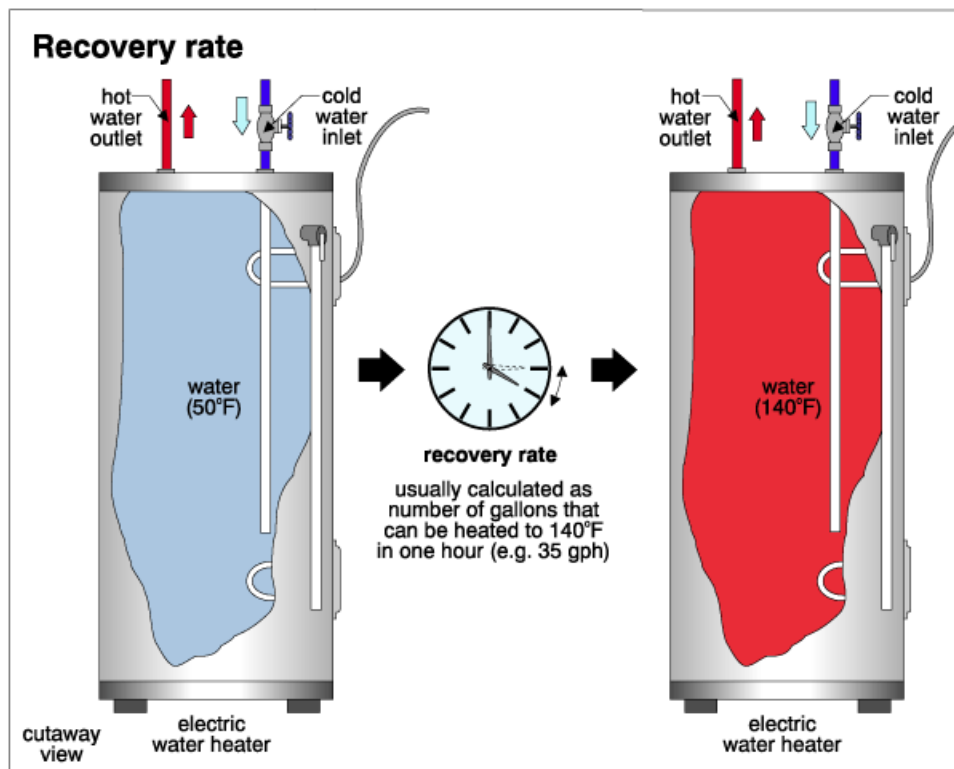
Water heater approximate age: • 14 years

Water heater typical life expectancy: • 8 to 12 years • 10-15+ years with proper maintenance

Water heater failure probability: • [High](#)

Hot water temperature (Generally accepted safe temp. is 120° F):

- 135° F
- Rounded To The Nearest 5 Degrees





Waste disposal system: • [Public](#)

Waste and vent piping in building:

• [Plastic](#)



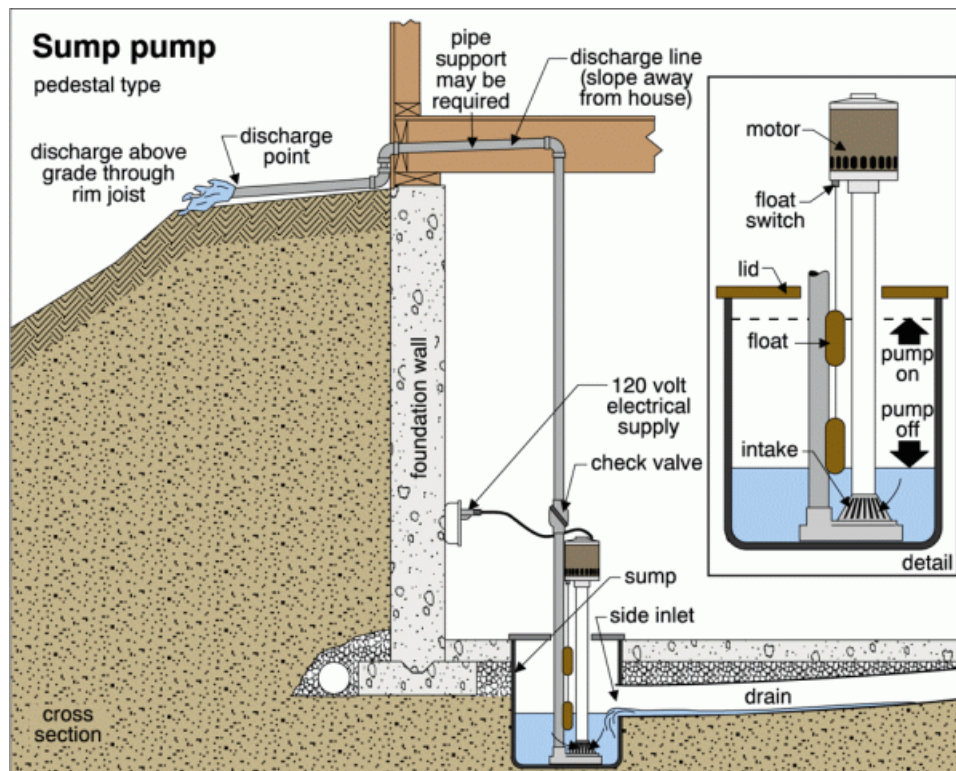
Main Sewer Clean Out

Pumps:

- Sump pump - Average life expectancy of 10 years.

Maintenance: Clean the basket of debris annually or as needed. The pump intake screen should also be cleaned to ensure proper performance. Test the pump annually by filling basket with water or lifting the float switch. Ensure to only test if water is present. Operating a pump dry can damage the unit. Sealed lids are recommended to prevent unnecessary moisture and radon gas entry into basement. Acrylic or transparent covers are preferred because it allows for easy monitoring. Extension hoses are recommended to ensure water is discharging far enough away from the home. Ensure to disconnect during winter months to prevent potential freeze ups and/or a backup. If basement is finished and pump sees regular usage, a battery back up is recommended. The times we need a sump pump are typically during a power outage.

Sump pump not operated due to sealed lid. Continue to monitor basket for water accumulation and pump use frequency.



Sump Discharge



Sump Basket

Floor drain location:

- Near heating system
- Maintenance reminder: Maintenance includes shop vacuuming out the center trap and flushing with pales of hot water. Floor drains are commonly clogged and will go unnoticed until it is too late. Be mindful to remove float ball if present prior to vacuuming. This ensures the lowest fixture in our house is functional as it could prevent basement water damage. Professional cleaning and snaking should also be considered. Floor drains can not be tested in a home inspection.

Often floor drain clean out caps are rusted closed and need to be chiseled out and replaced with newer material.



Illustration

Water treatment system:

- [Water softener \(Right Click Open New Tab/Window\)](#)

Average life expectancy 10-15 years with proper maintenance and care. Check out hyperlink for video overview.

Use Natural Crystal Salt/Solar Salt (Blue Bag). Granules or crystals are always preferred over pellets. Pellets use an adhesive compound to hold the pellet together that breaks down and sits stagnant in your salt tank and can reduce efficiency.

Use Natural Crystal Salt/Solar Salt (Blue Bag). Granules or crystals are always preferred over pellets. Pellets use an adhesive compound to hold the pellet together that breaks down and sits stagnant in your salt tank and can reduce efficiency.

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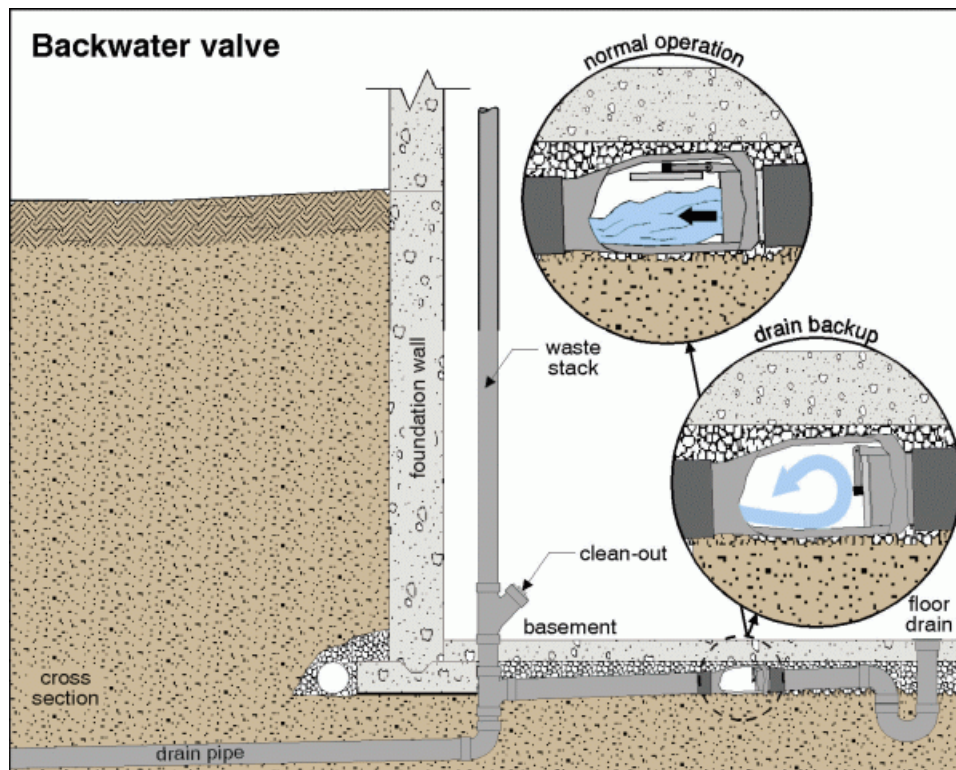


Keep Filled With Salt

Gas piping: • Steel • Copper

Backwater valve:

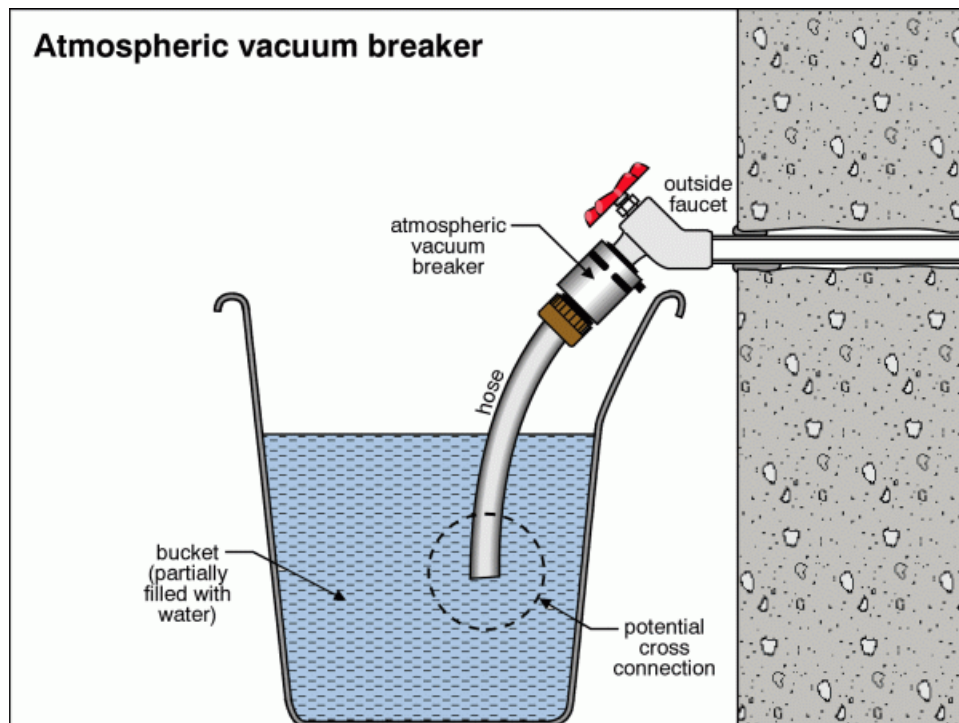
- None noted



Exterior hose bibb (outdoor faucet):

- Present

Ensure to winterize other spigot as soon as possible. Have it in writing that the other spigot is functional.

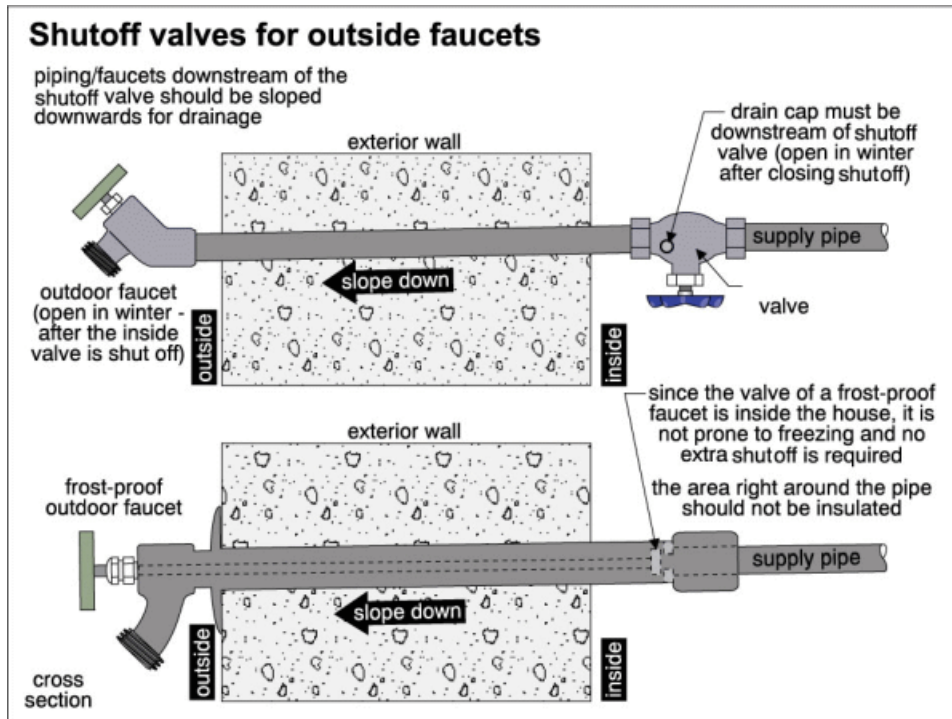


Rear Spigot Operated

- Ensure winterizing of all exterior spigots and irrigation system is completed before freezing temperatures. Turn off interior shut-off to the spigot. Drain exterior spigots by turning on all faucets/spigots to drain any water left in them. If the water continues to flow, check the valve to make sure it is turned off. Leave the exterior faucet handle turned on throughout the winter to avoid issues associated with frozen pipes. Add protection further by insulating pipes with pipe insulation. Insulation sleeves are inexpensive and can be installed relatively easily.

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IF YOUR HOME HAS AN INTERNAL SHUT OFF FOR EXTERIOR WATER USE, ENSURE IT IS WINTERIZED.



Limitations

Inspection limited/prevented by: • System winterized

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Not included as part of a building inspection: • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys • Water conditioning systems • Fire extinguishers and sprinkler systems • Landscape irrigation systems

Recommendations

OPTIONAL \ Plumbing

15. Condition: • Other

Secure plumbing lines by bracing to the wall to reduce excess movement.

Location: Basement

Task: Improve

Time: When necessary

Cost: Less Than \$50

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Near Water Meter

16. Condition: • Other

Replace plastic cover as needed. Cosmetic only. I was able to view this while the irrigation system was running during winterization. No water was spewing from cracked portion.

Continue to hire out for winterizing, that way your protected against damages. \$50-\$150.

Location: Right of Home

Task: Replace

Time: When necessary

Cost: Less Than \$50



Back Flow Preventer Cap Damaged

WATER HEATER \ Life expectancy

17. Condition: • [Near end of life expectancy](#)

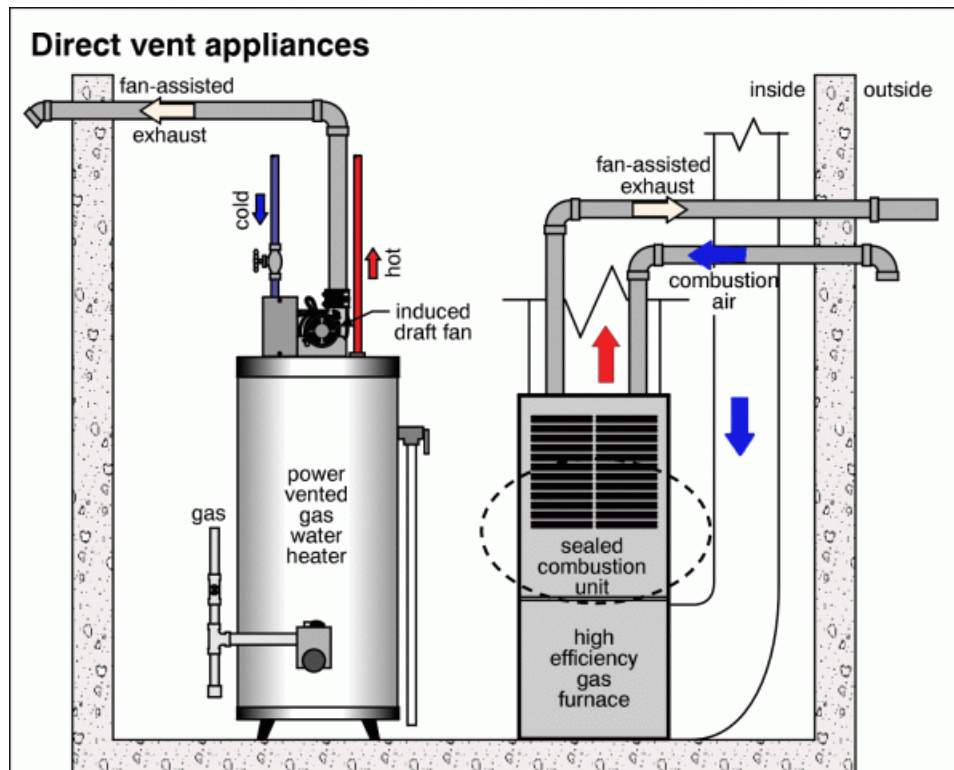
Water heater is nearing end of life expectancy window. Consider direct venting or tankless for future upgrades.

Implication(s): No hot water

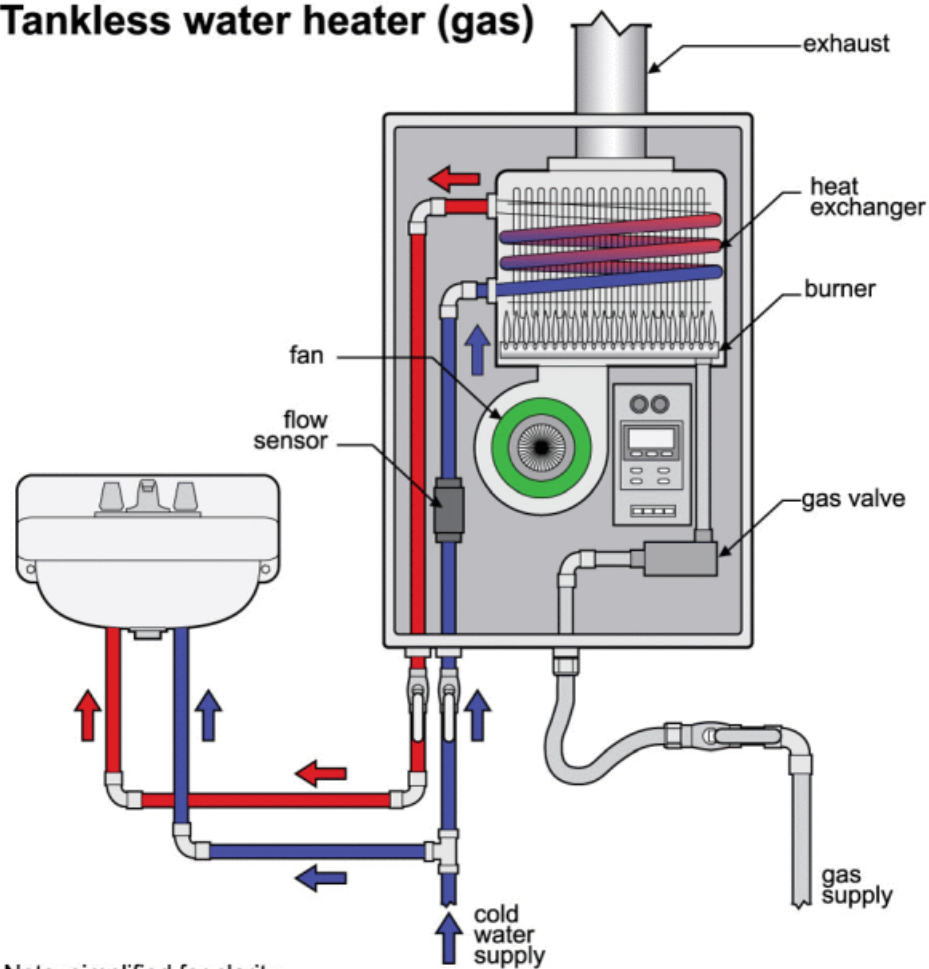
Task: Plan

Time: Ongoing

Cost: \$800-\$2,500



Tankless water heater (gas)



WATER HEATER - GAS BURNER AND VENTING \ Venting system

18. Condition: • [Poor slope](#)

All vents should have a 1/4" of rise per foot of run. This is an area where I can not get close enough to measure or check with level. It appears adequate but could be improved.

Wrap each transition with heat foil duct tape as cheap insurance.

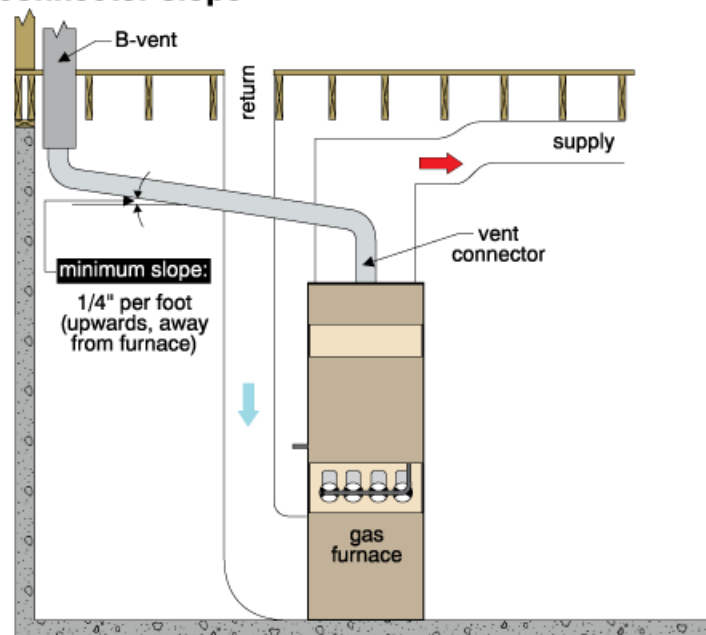
Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Utility Room

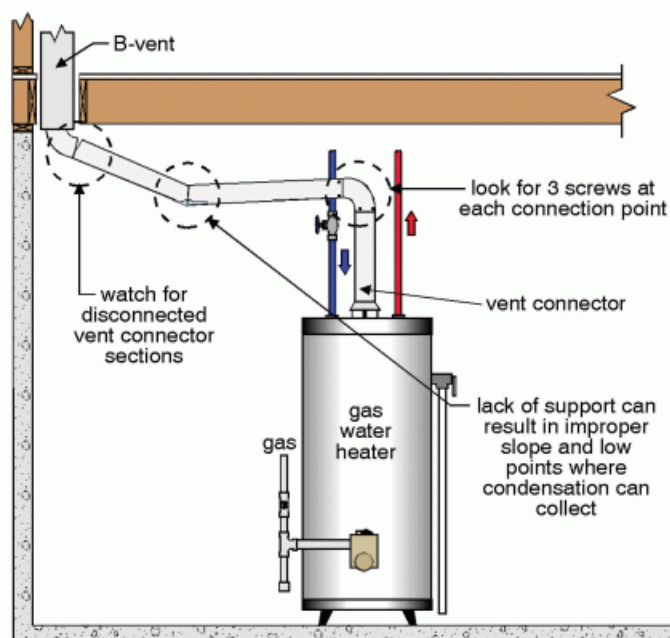
Task: Improve Consult

Time: When Servicing

Vent connector slope



Poor connections





Water Heater Venting

WASTE PLUMBING \ Drain piping - performance

19. Condition: • [Leak](#)

I can not determine where the leak is coming from exactly. I suspect it is coming from a covered area as I did not find any visible leaking from common bath or master bath. Seller disclosed work was done from plumbing company that he is following up with. Follow up and have this addressed immediately.

Implication(s): Sewage entering the building

Location: Second Floor Bathroom Master Bathroom

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed



Leaking Followed Through Into Bsmt.



Leaking Followed Through Into Bsmt.

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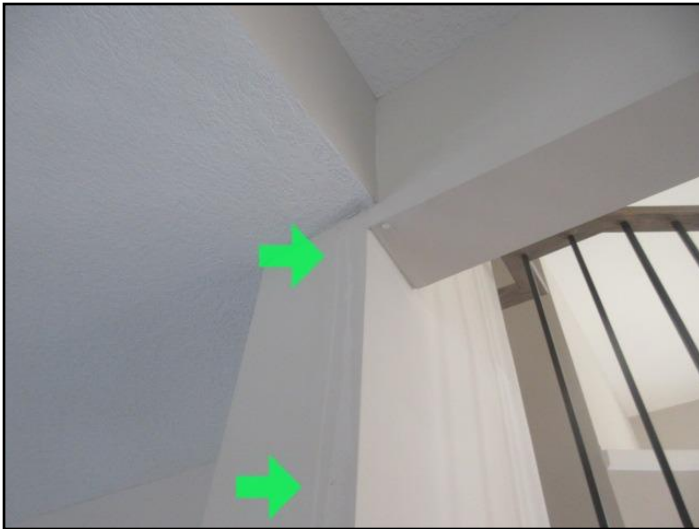
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Water Leaking From Dining Room Ceiling



Water Leaking From Dining Room Ceiling



High Moisture Found In Dining Room Ceiling



High Moisture Found On Exterior Rear Wall MB

WASTE PLUMBING \ Floor drain

20. Condition: • The condensate drain lines coming to the floor drain are in contact with the floor drain. There should be at least a 1.5" air break/gap between the floor drain & condensate hoses.

Recommend adding a block under the condensate hoses or adding appropriate inserts to the ends of the hoses to achieve this for added protection of units connected to the drain line hoses in case of a backup at the floor drain that could potentially allow for siphoning and bacteria growing up the condensation lines.

Location: Basement

Task: Improve Protect

Cost: Minor



Floor Drain

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

21. Condition: • [Inoperative](#)

Front spigot was inoperable, this is in the area of efflorescence. Seek disclosure and have it in writing that is functional and with out issues. I suspect it is winterized.

Implication(s): Equipment inoperative

Location: Front of Home

Task: Request disclosure

Time: Ongoing



Front Spigot Not Operable

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

22. Condition: • [Loose](#)

Secure sink down to floor to reduce excess movement on supply and drain pipes.

This fixture does not have a hot water line running to it. Add hot supply if needed.

Implication(s): Chance of water damage to structure, finishes and contents | Damage or physical injury due to falling materials | Sewage entering the building

Location: Basement

Task: Improve

Time: If necessary

Cost: Less Than \$50 Up to \$250 For Water Lines Added



Sink Is Loose

FIXTURES AND FAUCETS \ Toilet

23. Condition: • [Loose](#)

The toilet has a slight wobble, nothing too concerning. Have this secured down and add fresh sealant around the fixture. Two nuts, one on each side could use a 1/4 turn, ensure not to over tighten as they can snap.

Other toilets need caulking as well.

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

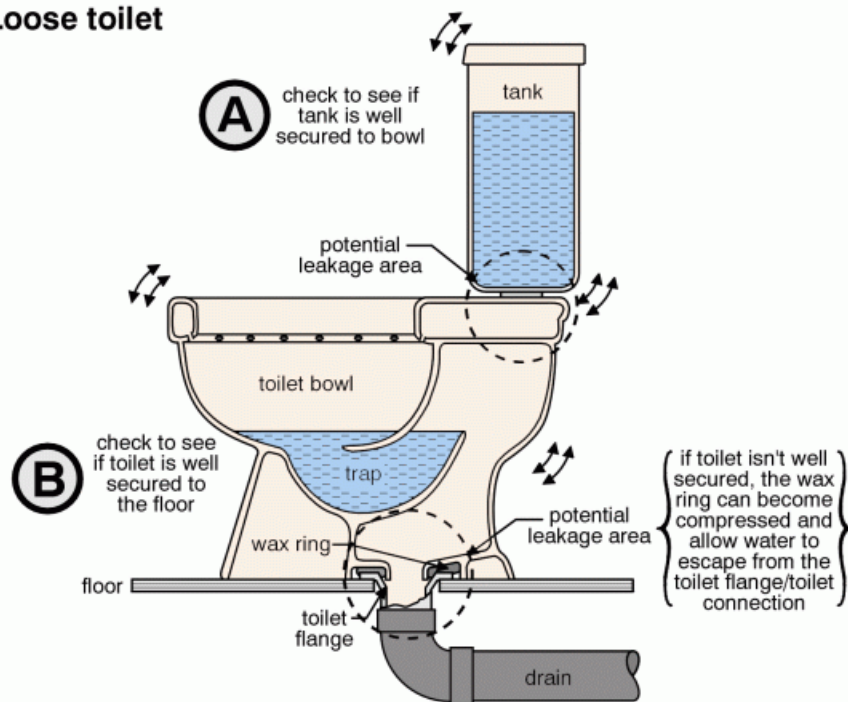
Location: First Floor Bathroom

Task: Improve

Time: Ongoing

Cost: Less Than \$50 Depends On Approach Up to \$150

Loose toilet



Main Level Bath Slight Wobble In Toilet

INTERIOR

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ROOFING

EXTERIOR

STRUCTURE

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MORE INFO

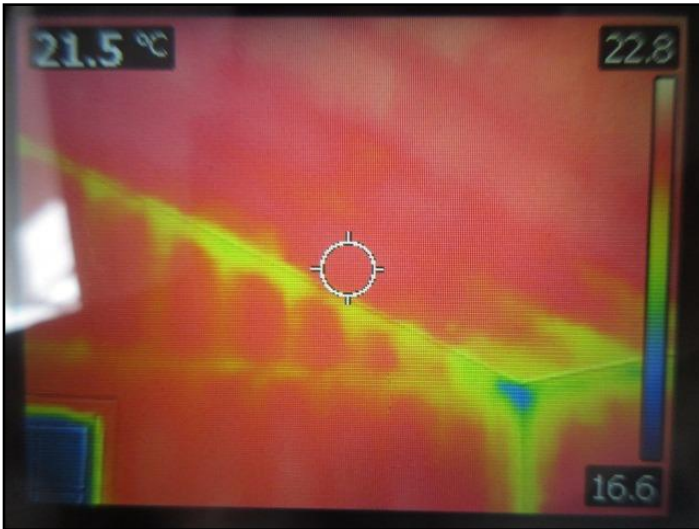
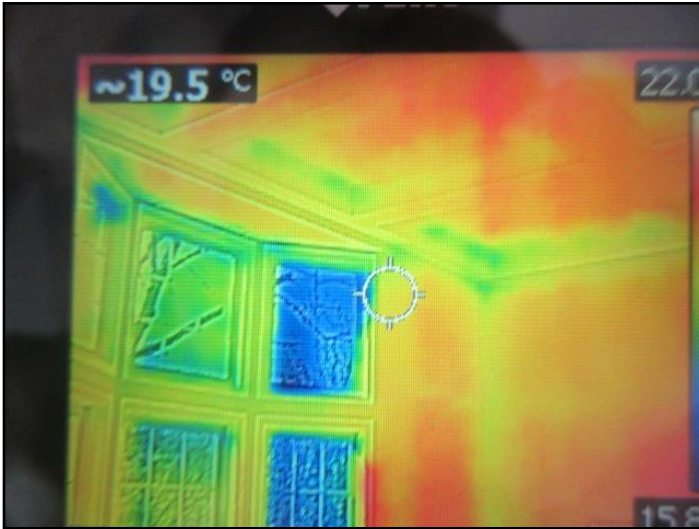
REFERENCE

Description

General:

- Scanned walls and ceilings with a thermal camera.
- No major abnormalities were found with thermal.

I did see minor heat loss around the edges of ceiling.



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• Exterior Wall Moisture Test:

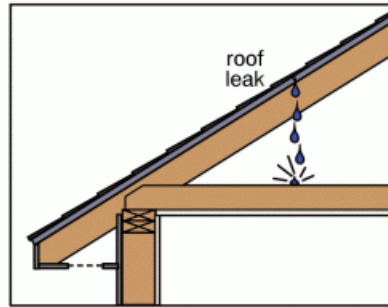
A range of 5 to 12 percent is considered optimal. A reading of up to 17 percent is generally considered moderate moisture and acceptable. Any reading over 20 percent is considered to be an indication of saturation and intrusive evaluation or preventative measures is recommended.

Plaster walls naturally will have a higher content between 20%-40%.

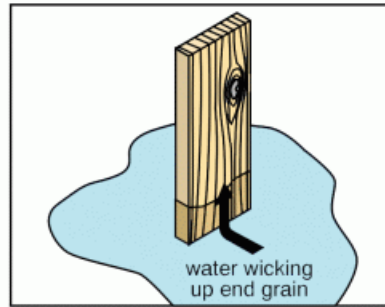
A range of 5 to 12 percent is considered optimal. A reading of up to 17 percent is generally considered moderate moisture and acceptable. Any reading over 20 percent is considered to be an indication of saturation and the need to replace the drywall and to take preventative measures against future moisture buildup. Continue to monitor for signs of moisture intrusion.

Elevated levels found under bathroom areas inside main level dinning room.

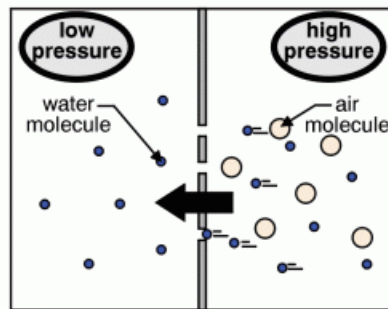
How moisture moves



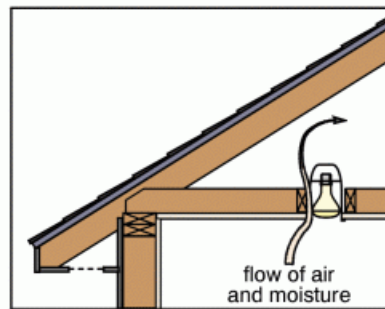
bulk moisture



capillary action

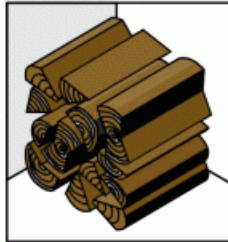


vapor diffusion

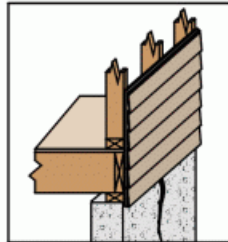


air-transported moisture

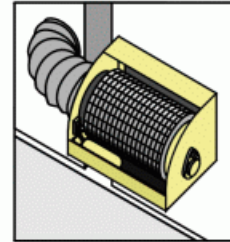
Reducing moisture



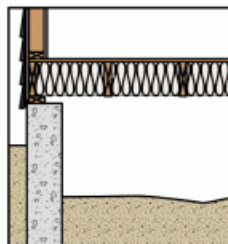
don't store
firewood inside



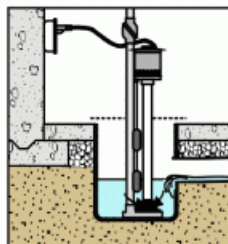
repair foundation
leaks



disconnect or
remove humidifiers



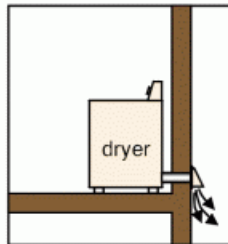
cover earth floors



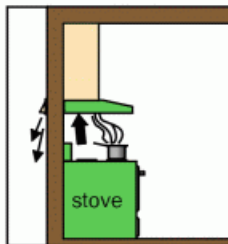
cover sump pits



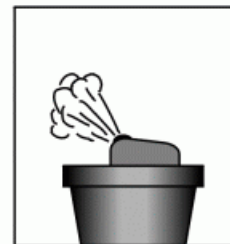
don't hang laundry to
dry inside



vent clothes dryers
to the outside



use kitchen and
bathroom exhaust fans



limit the use of misters
and steam generators



ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	RADON
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- Check out these resources for some cost saving.

MN Home Outlet located in Burnsville, Coon Rapids, and Woodbury. Typically open box returned items usually 60%+ off of regular price on everything that has to do with a house.

Building Material Outlet stores are source for a good amount of bulk materials.

Kbid.com is a great source to get some deals on auction items. Building material, tools, home equipment, a little bit of everything.

Also for donated materials usually 80%+ off and for a great cause, check out "Habitat For Humanity's, Restore", couple different locations in the twin cities. Recommended for Home Restoration, DIY'rs, and maintaining home character with decor.

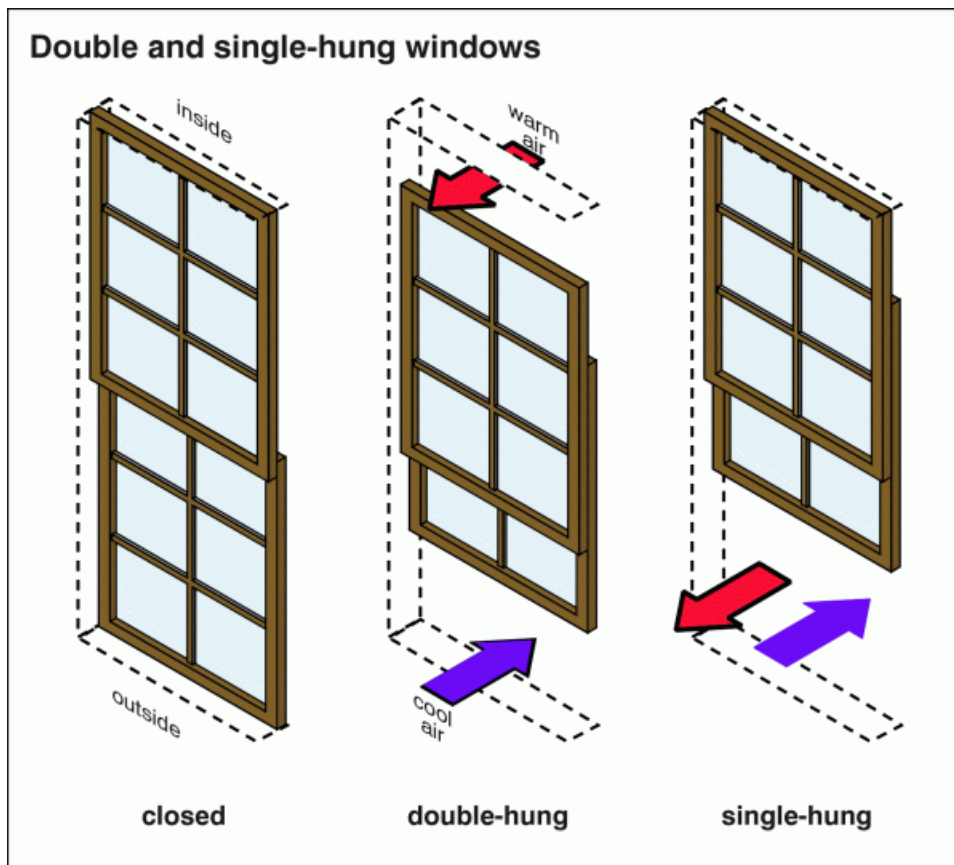
Major floor finishes: • [Carpet](#) • Engineered wood • Tile

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows:

- [Fixed](#)
- Single/double hung



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- Wood
- Metal-clad wood

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [Sliding glass](#) • Metal-clad • Vinyl-clad • Garage door - metal

Doors:

- Doors missing, damaged, or reduced functionality present.



Entry Pocket Door Missing Hardware

Oven type: • Conventional • Convection

Oven fuel: • Gas

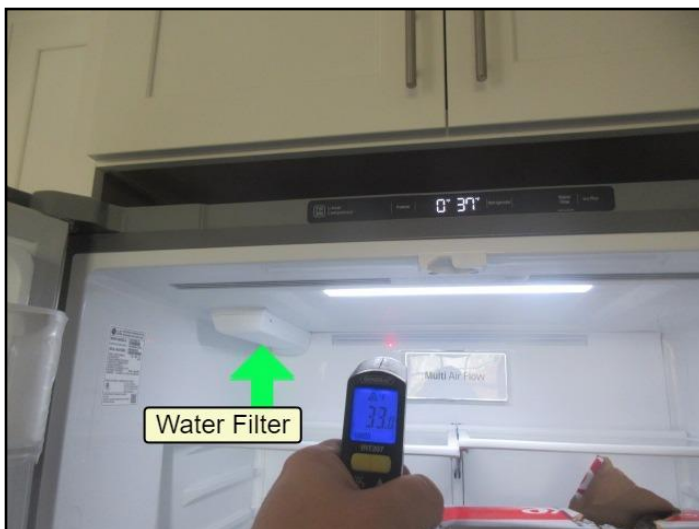
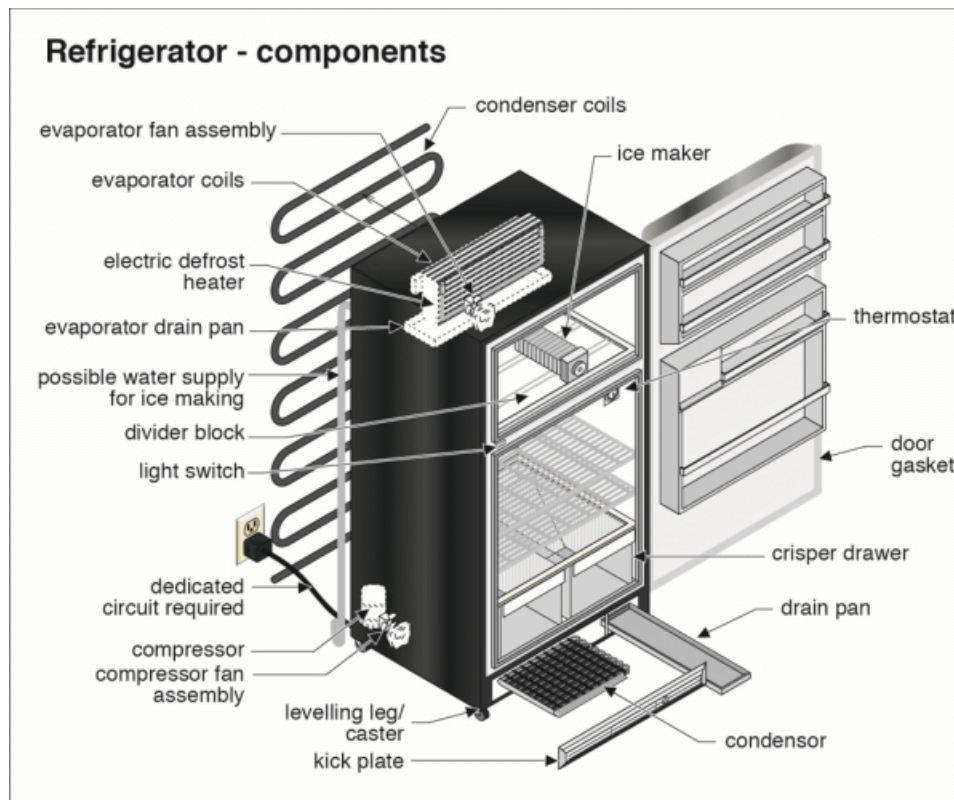
Range fuel: • Gas

Appliances:

- Average life expectancy of 13 years - It is recommended to keep the refrigerator at 40 degrees (F) and the freezer as close to 0 degrees (F). Keep in mind, not too many people clean their ice maker, and bacteria can be found in high amounts with in ice makers.

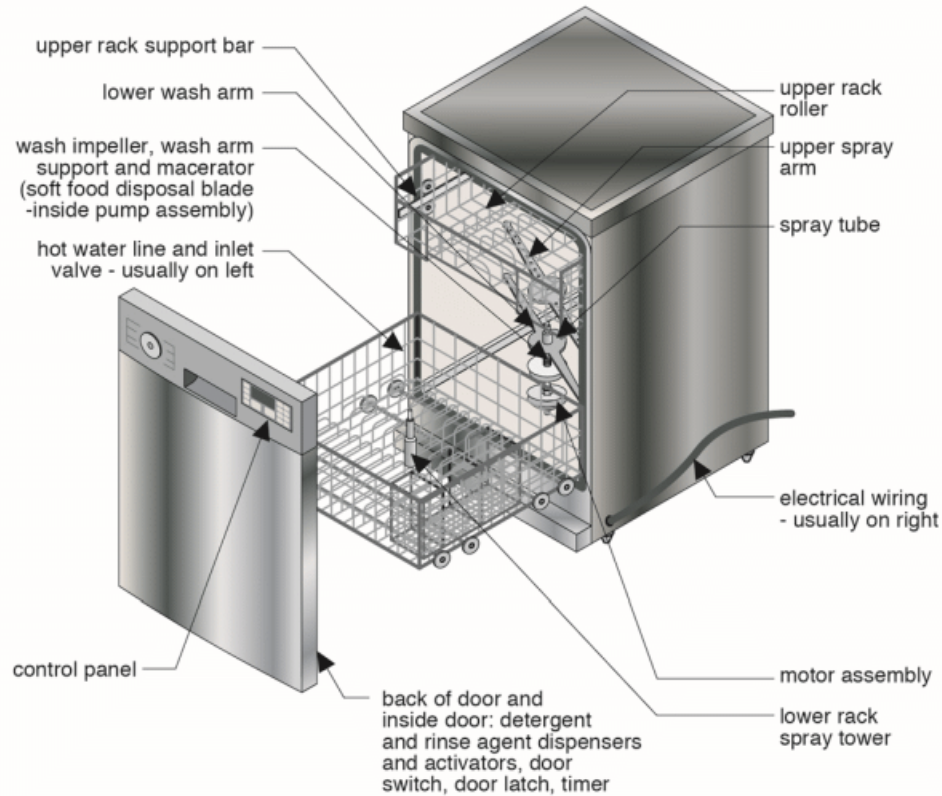
Functional tempaturers noted.

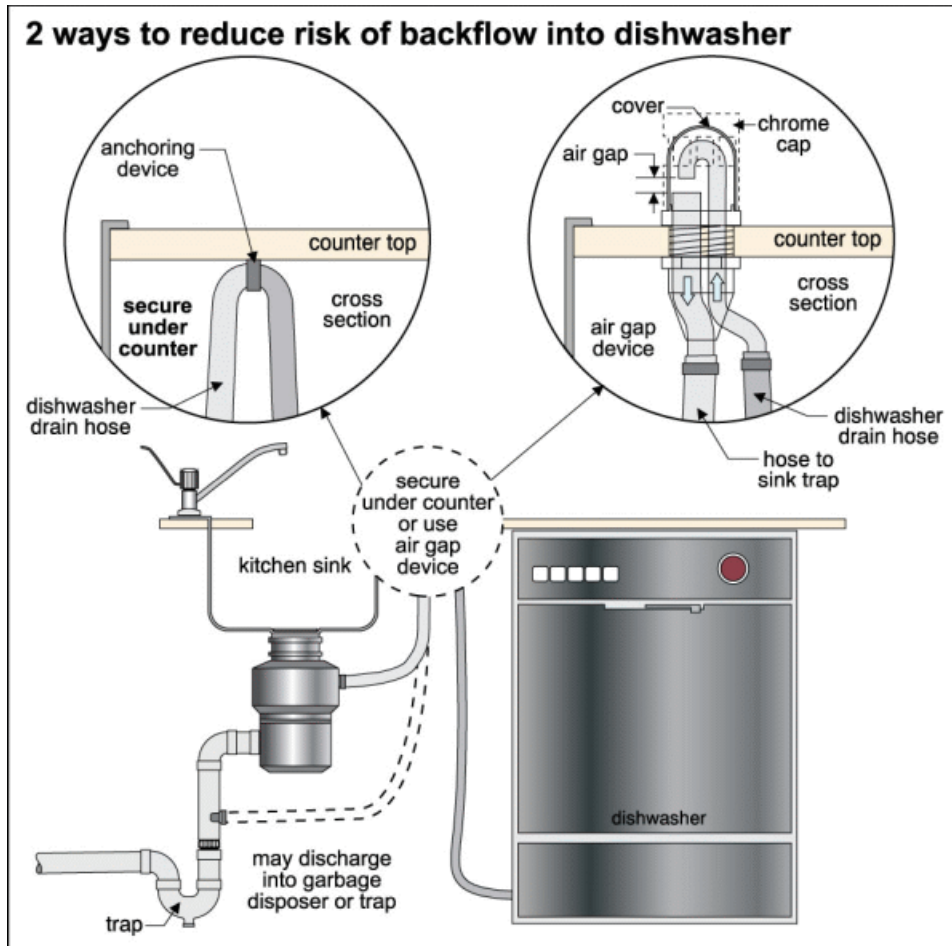
The garage unit had cooler temps but it older and may be original to property.



- Dishwasher - Average life expectancy of 6-10 years
Dishwasher operated cycle.

Dishwasher - components





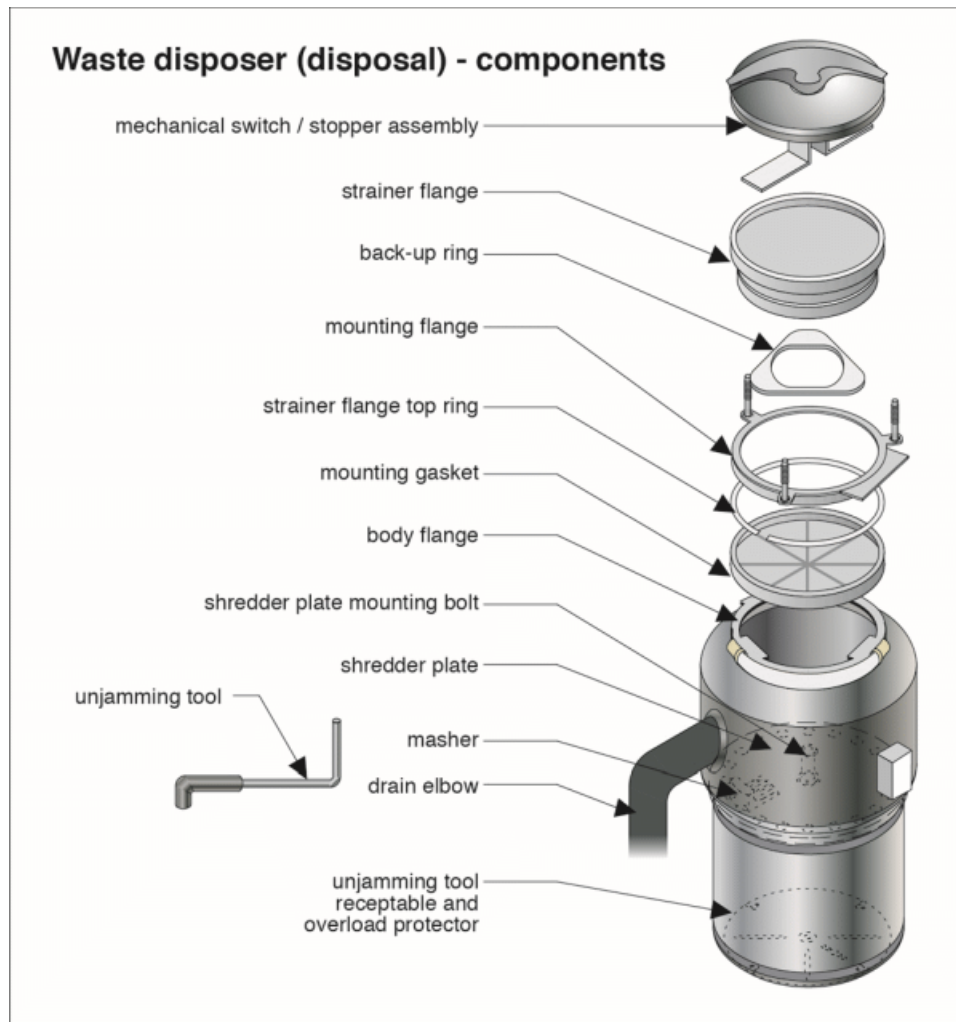
Air Gap Present

- [Garbage Disposer \(Click Here For A Video Link \(Right Click Open Tab/Window\)\)](#)

Average life expectancy 12 years with appropriate use - Reducing what gets into disposal will prolong life expectancy and should only be used sparingly as a secondary means of disposing remnants. Proper care to the disposal by using

items like citrus, ice, soapy water and baking soda to clean the drain and guards can keep it functioning for years.

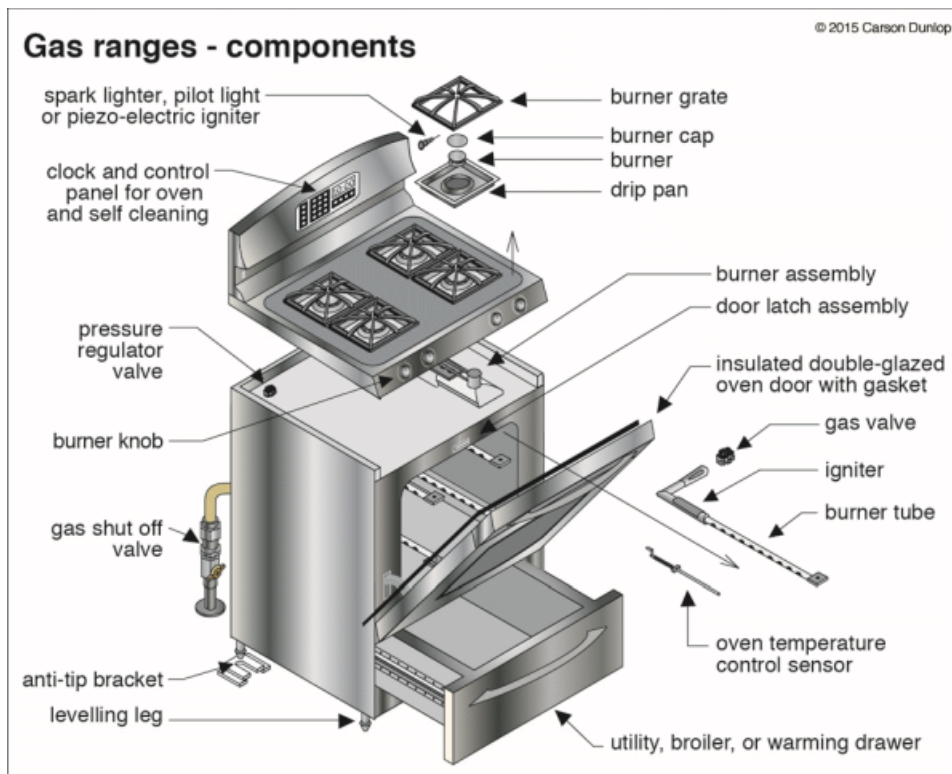
Use cold water for use.
Operated.



- Average life expectancy of 15 years - Spray burners with vinegar and allow to sit for 10-15 minutes. Use a clean cloth to wipe down for clean grates and stove top. If brushes or abrasive materials are used be careful not to scratch or chip the enamel coating off.

Anti-tip brackets are recommended as they can not be safely tested for with out potentially causing damage.

Add metal thermostats to ovens that are outside 20 degrees of calibration. Continue to monitor to better gauge plan of action. Temperature probes can go out and need replacing or considerations for upgrading.



341 Set @ 350 Degrees



Burners Operated

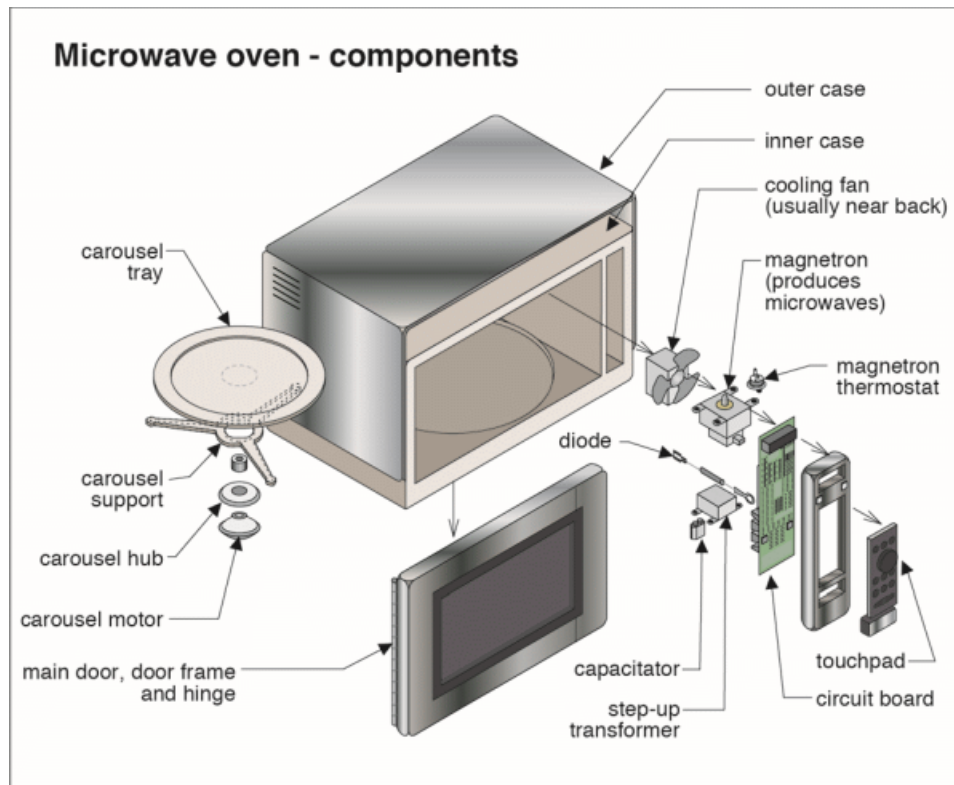
- Average life expectancy of 7 years - Maintain cleanliness of grease filters, this will minimize staining above and prolong life expectancy. These are located under your microwave or hood fan. Use hot, soapy water and an old toothbrush to loosen grime. "Goo-Gone" works well. Place the filters in the top rack of your dishwasher; perform annually.

How to Clean a Microwave

Step 1 - Pour one cup of white vinegar and one cup of water into a measuring cup or bowl.

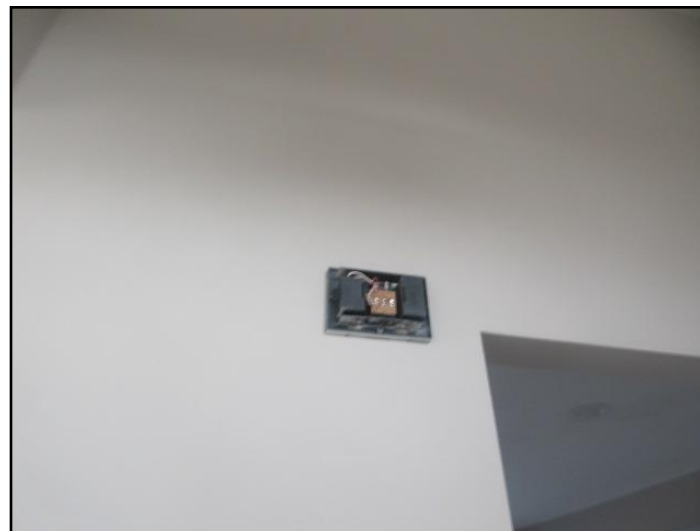
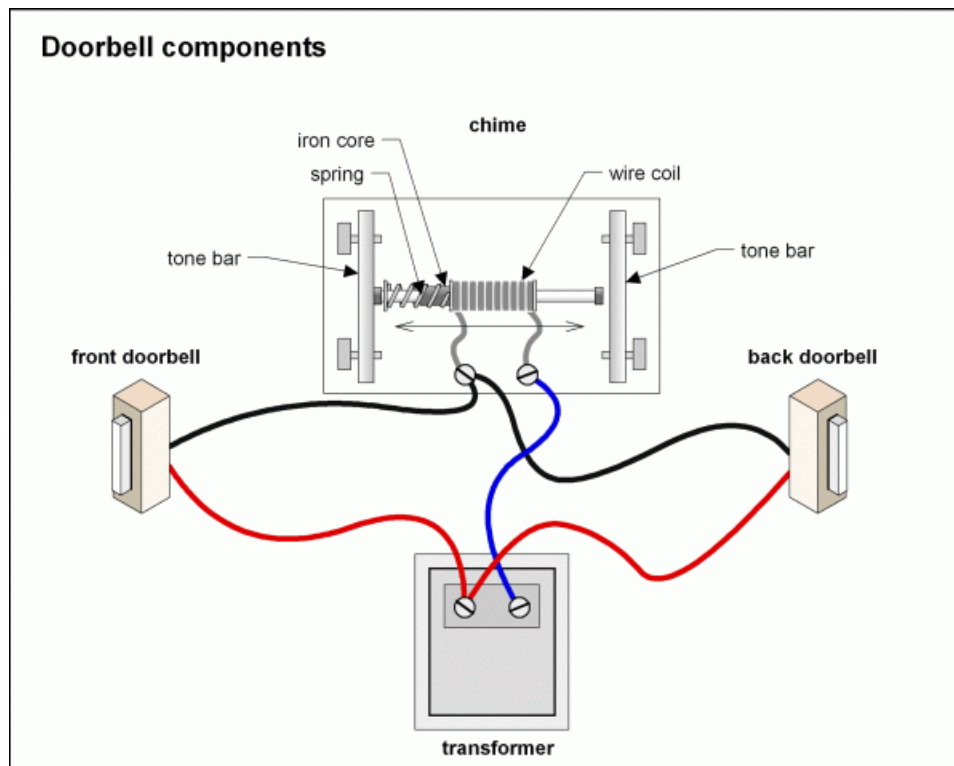
Step 2 - Microwave for 5-10 minutes (depending on how powerful your microwave is).

Step 3 - Wipe the inside with paper towel and follow through with microfiber cloth to clean. Recirculating fan.



Microwave And Fan Functional

- Door bell



Functional But Missing Chime Cover

- [Garage Door Opener \(Right Click Open New Tab/Window For Video\)](#)

Typical life expectancy 10-15 years, keeping up with maintenance can help increase the lifespan.

Listen to the door open and close. Louder noises suggest resistance and is working harder. An opener life expectancy is determined by how hard the motor has to work. Ensure safety cables and torsion springs remain intact. These will go out and need to be replaced as time goes on. Tighten any loose nuts or bolts as they appear.

View and replace rollers as needed, steel or nylon. Nylon rollers with ball bearings are most preferred and will keep the unit quiet.

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	RADON
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Lubricating the moving components will add years of operation to your garage door. Use white lithium grease or garage door lubricant on the opener's chain, screw, springs, and hinges (any moving part).

Test the garage door balance by disconnecting the opener, pulling the release handle (usually a red cord), manually open the door half way up. If it doesn't stay still, the counterweight system (springs) are improperly balanced and should be serviced.

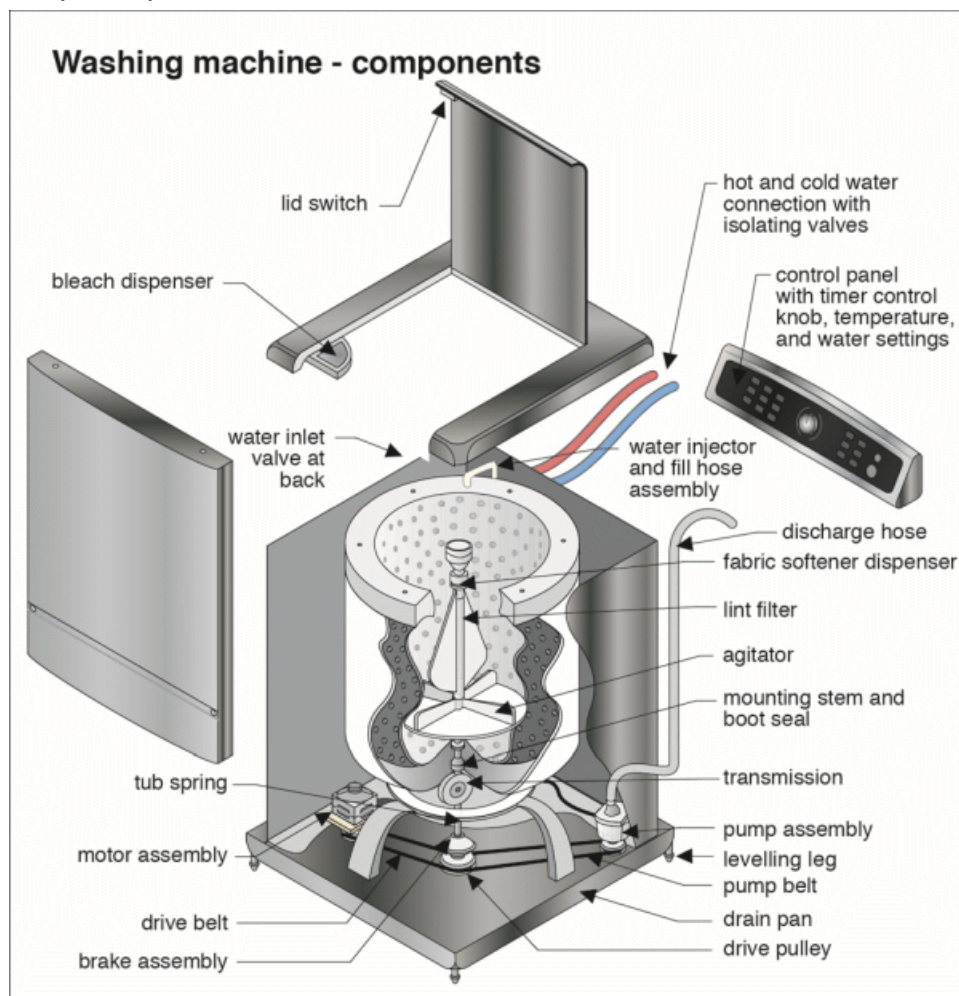
Replace the weather stripping around and at the bottom of the door. Rubber that is brittle or cracked should be replaced to keep the elements out of your house. Weather-stripping is sold by the foot at most home stores and can be patched or fully replaced as needed.

Test the auto-reverse features, there are two mechanisms: mechanical and photocell. In order to test the mechanical feature, place a piece of wood or a brick on the ground in the path of the door. When the door coming down to meet the object, it should reverse direction and go back up. To test the second, the photoelectric system with beams at each side, close your door and just pass your leg in the door's path. Your door should reverse.

- Appliances passed a basic functions test and failure can not be determined or predicted.

Laundry facilities:

- Average life expectancy of 10 years



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Washer Operated Cycle

- Laundry tub
- Hot/cold water supply
- Average life expectancy of 13 years - Regularly cleaning the lint filter and ducts will help your dryer run more efficiently (and safely), and increase its longevity.
- Vented to outside
- 120-Volt outlet
- Waste standpipe

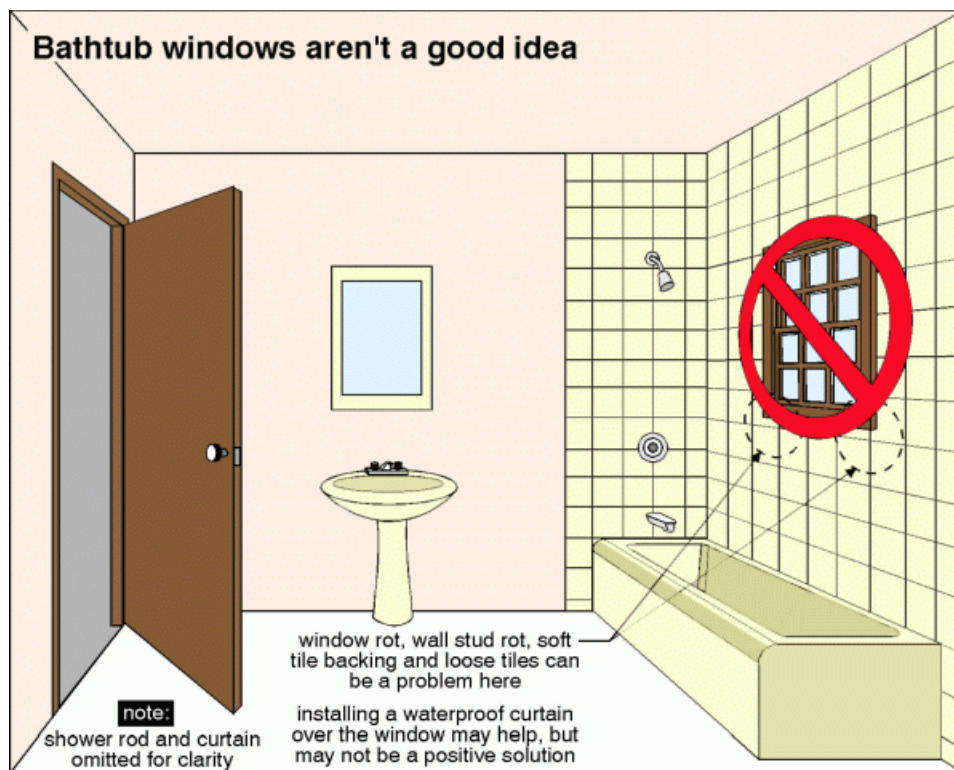
Bathroom ventilation:

- Exhaust fan





- Bath tub window



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Keep Shower Window Voids Sealed

- [Click Here For A Video On Bath Fans \(Right Click And Open New Tab/Window\)](#)

It is recommended that you run your exhaust fans after a shower or bath for at least 15 to 20 minutes to allow the moisture to expel the room. Moisture will decay walls, finishes, and increase potential mold growth. Check your fans function annually by seeing if it will hold tissue paper. It may sound like it is functional, that does not mean it is actually working. It is also recommended to clean the fan's plastic grill of debris annually or as needed.

A good upgrade is having a timer switch for bath fans.

Counters and cabinets:

- Inspected



Missing Cabinet Bracket

Stairs and railings:

- Inspected

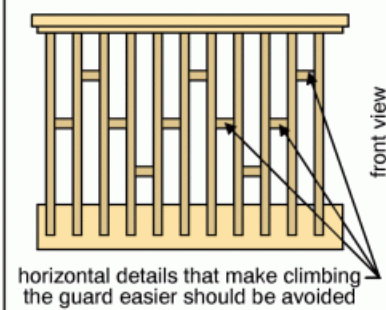
Spindle spacing

spindles should be spaced so that a 4" (6" in some areas) sphere cannot pass through the guard

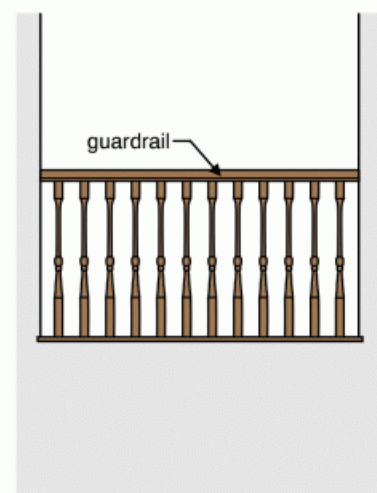
spindles (balusters)

4" diameter sphere (6" in some jurisdictions)

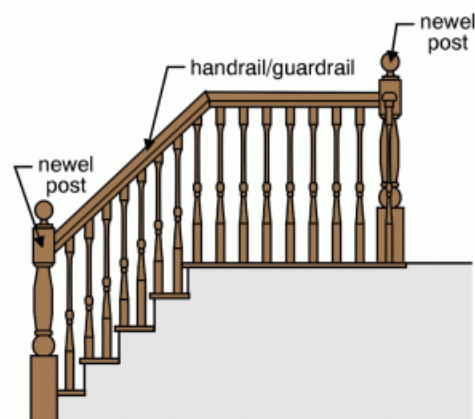
construction note:



Handrail support



guardrails and handrails anchored to walls are the strongest



if the handrail (or guardrail) is supported at its ends by newel posts and the posts are not well secured, the whole assembly can be loose

Limitations

Inspection limited/prevented by: • Carpet • New finishes/paint • Storage in closets and cabinets / cupboards • No view of exhaust fan duct or termination points

Not included as part of a building inspection: • Security systems and intercoms • Cosmetic issues • Perimeter drainage tile around foundation, if any • Decorative items • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Paint, wallpaper, and other finishes • Floor coverings • Window treatments

Appliances: • Self-cleaning features on ovens not tested • Appliances are not moved during an inspection • Limited or no view behind washer and dryer

Basement leakage: • Cannot predict how often or how badly basement will leak

Recommendations

RECOMMENDATIONS \ General

24. Condition: • Maintenance Hints: Windex Trick For Applying Silicone. Apply a small (thin) bead of the area that you want to seal; Spray all surfaces with WINDEX; Tool the silicone into place with your finger, wiping your finger of the excess as you go; Re-spray the area with WINDEX, then tool the area with your finger again. For straight lines use painters tape, apply tape on each side of caulk line. Apply caulking, tool the line, and remove tape as caulk is still wet.

The use of a POLYURETHANE based sealant is preferred over the use of silicone for EXTERIOR applications. The use of 100% SILICONE sealant is recommended for all interior areas around potable water. (sinks, toilets, backsplashes) Silicone is resistant to many of the common bacteria's.

Newspaper Trick For Mirror Finish: After applying a fresh coat of Polyurethane or Lacquer, wipe the entire surface down with crunched up NEWSPAPER. The newspaper will act as a super-fine finishing sand paper, leaving a glossy smooth finish.

Location: Various

Task: Improve Protect

Time: Regular maintenance



Common Bath



Master Toilet

WINDOWS \ General notes

25. Condition: • Inoperative

I had a few windows that were inoperative. I suspect it is because they have recently been painted. Functionality would appear easy to be regained. Use utility knife to cut along paint to restore function.

I found one are of damaged cladding on the main level front living room window. Seal the void with vinyl siding repair tape or exterior grade polyurethane caulking.

Implication(s): System inoperative or difficult to operate | Reduced comfort | Restricted emergency exits

Location: Various

Task: Improve

Time: Asap

Cost: Less Than \$50 and up Depends on work needed



Main Level Right BR Window Inoperative



Damage To Outer Cladding ML Front Window



Main Level Front Living Room Inoperative



Master Bedroom Inoperative Window

WINDOWS \ Storms and screens

26. Condition: • [Missing](#)

Windows missing screens, I found some screens stashed in numerous locations. Seek disclosure and ensure all are present.

Implication(s): Chance of pests entering building | Increased heating costs | Reduced comfort

Location: Throughout

Task: Replace Request disclosure

Time: Asap If necessary

Cost: \$25-\$100 Per Location

DOORS \ Storms and screens

27. Condition: • [Torn](#)

Replace screen material to dining room screen door.

The dining room patio door is missing a strike plate to allow for locking, replace missing component to restore lock function.

The living room main level patio door is missing screen. A screen door was present in the bsmt. Ensure it fits.

Implication(s): Chance of pests entering building

Location: First Floor

Task: Replace

Time: When necessary

Cost: Less Than \$50 Up to \$100 Depends On Approach



Main Level Missing Screen Door



Main Level Patio Missing Lock Strike Plate



Main Level Loose Screen Door

STAIRS \ Fire safety

28. Condition: • [Click here for more information \(Right Click Open New Tab/Window\)](#)

Adding sheet rock (1/2" minimum) to the underside of stairs will increase the length of time a fire could spread to another level and allow for a longer timespan that the stairs can be used during a fire.

Adding drywall to the backside of stairs will increase the length of time a fire could spread and provide longer use of stairs.

Implication(s): Increased fire hazard

Location: Basement

Task: Improve Protect

Cost: \$50-\$100

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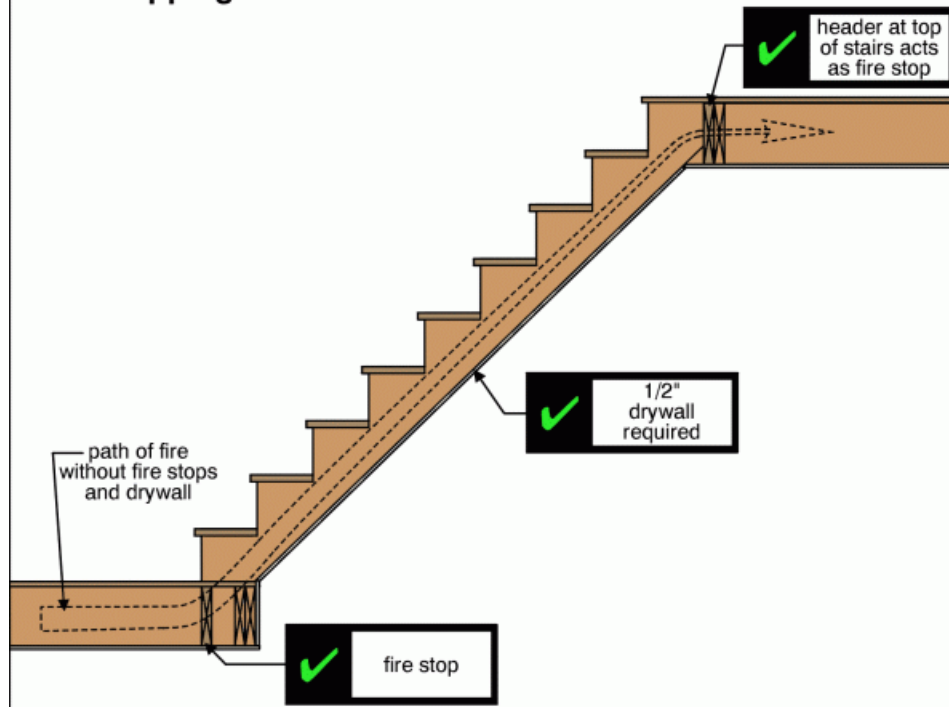
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Fire stopping for stairs



Under The Stairs

STAIRS \ Handrails and guards

29. Condition: • [Missing](#)

Add graspable hand rails to the deck stair case and to the bsmt. stairs to prevent potential injury.

Implication(s): Fall hazard

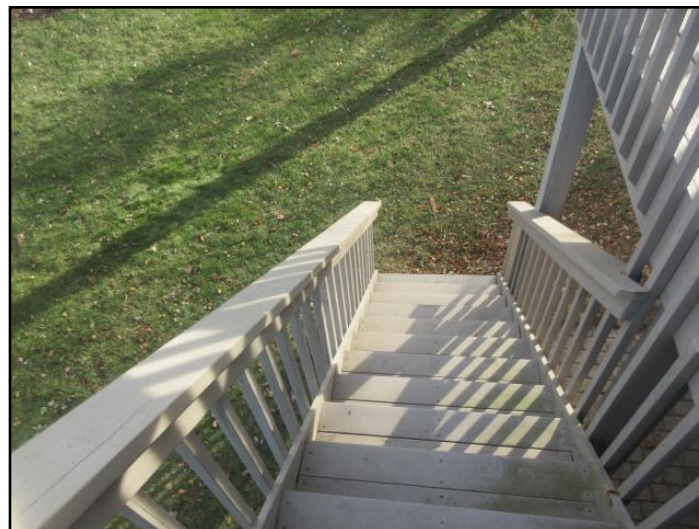
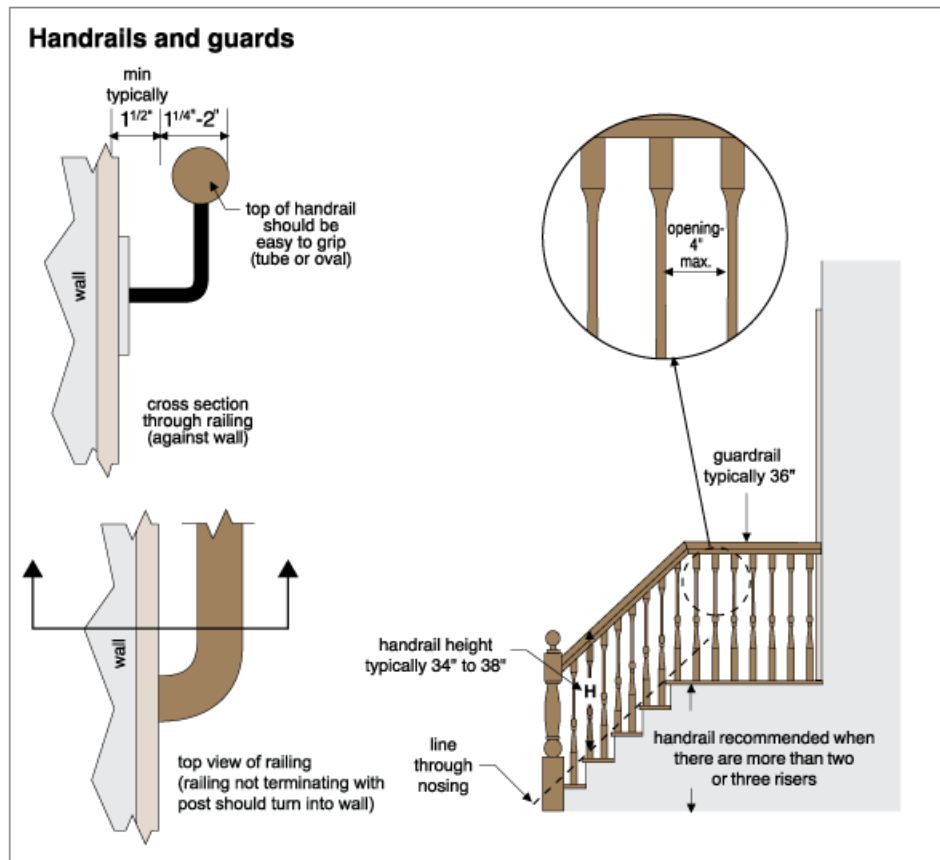
Location: Rear Of Home

Task: Improve

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	RADON
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Time: Asap

Cost: Less Than \$50 Depends On Approach Up To \$150



Deck Stairs

BASEMENT \ Wet basement - evidence

30. Condition: • Efflorescence is a crystalline deposit of salts that can form when water is present in or on brick,

concrete, stone, stucco or other building surfaces. It has a white or greyish tint and consists of salt deposits left behind when water evaporates. In summary, efflorescence is a cosmetic issue, but it indicates a potential or previous moisture problem.

It is recommended to clean the areas to make monitoring easier.

Get Rid of Efflorescence with Rainguard® Cleaner/Prep

- Spray a section of your surface with Cleaner/Prep using a hand pump garden sprayer.
- Scrub surface by scrubbing with a broom or handheld brush to remove grime.
- Repeat Step 1 & 2 as needed.
- Rinse surface with clean water, removing any suds from the surface.

Efflorescence is a crystalline deposit of salts that can form when water is present in or on brick, concrete, stone, stucco or other building surfaces. It has a white or greyish tint and consists of salt deposits left behind when water evaporates. In summary, efflorescence is a cosmetic issue, but it indicates a potential moisture problem.

Clean and continue to monitor area. It is most likely from before the repairs were made.

Get Rid of Efflorescence with Rainguard® Cleaner/Prep

- Spray a section of your surface with Cleaner/Prep using a hand pump garden sprayer.
- Scrub surface by scrubbing with a broom or handheld brush to remove grime.
- Repeat Step 1 & 2 as needed.
- Rinse surface with clean water, removing any suds from the surface.

Corrective action noted with sump pump and perimeter drainage system.

Seal cracks with "Vulkem".

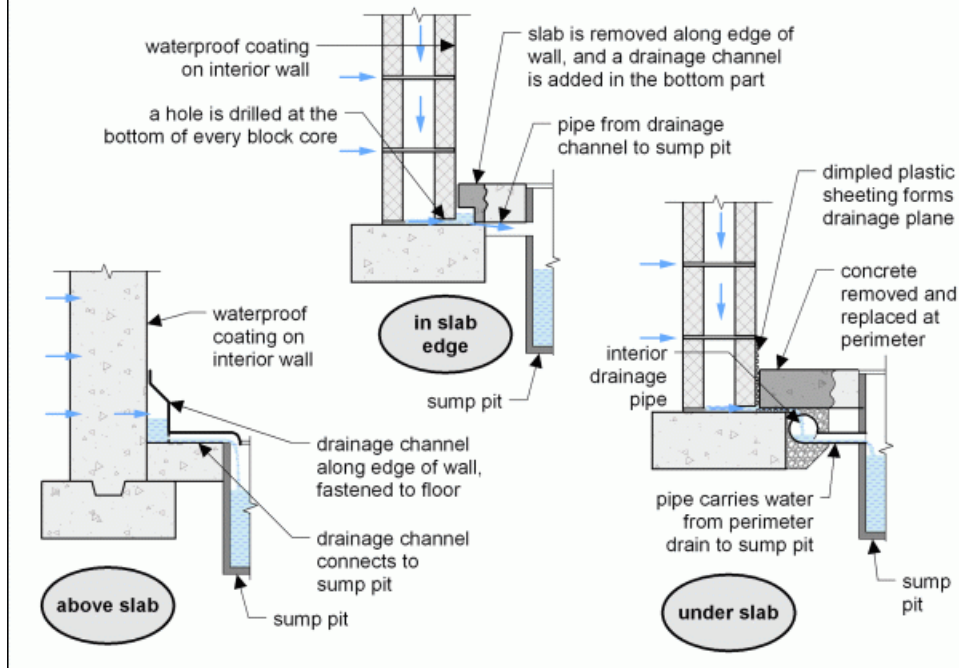
Implication(s): Chance of water damage to structure, finishes and contents

Location: Basement

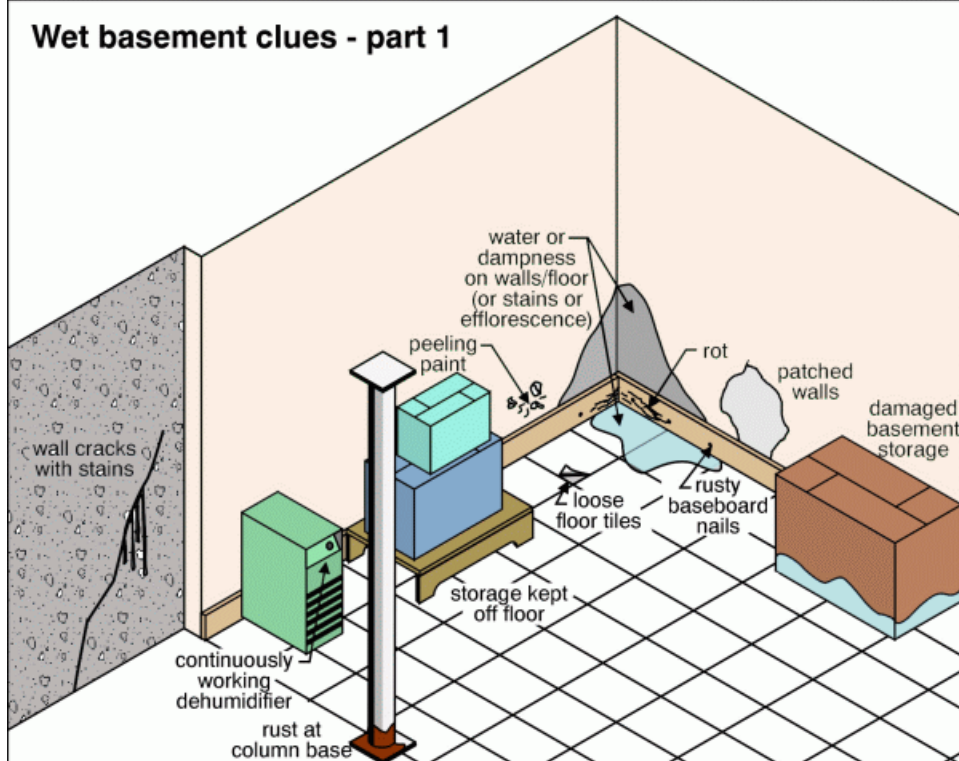
Task: Monitor Clean

Time: Ongoing

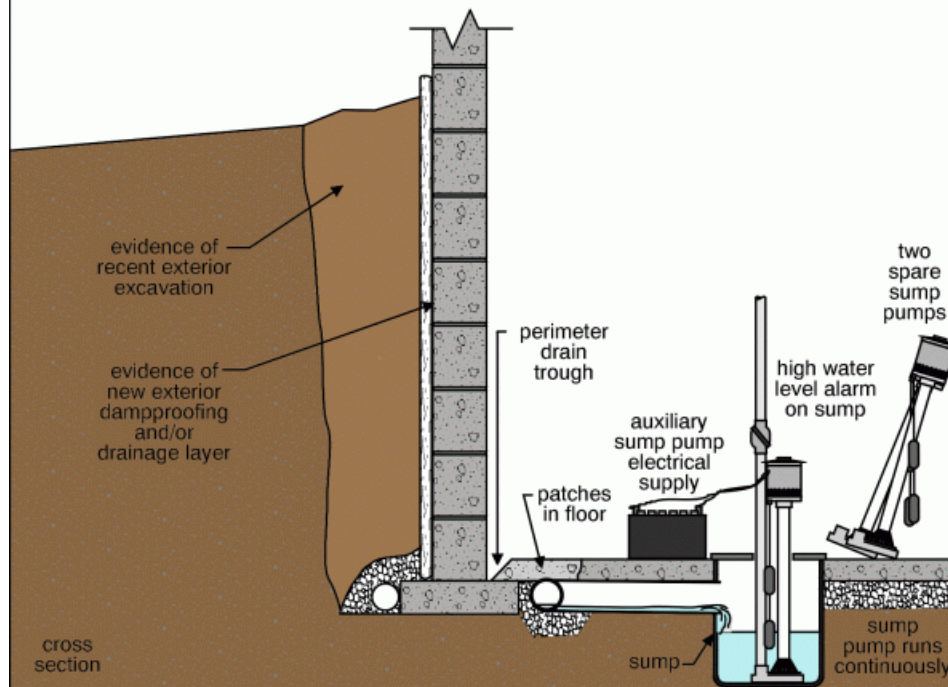
Interior drainage system - different approaches



Wet basement clues - part 1



Wet basement clues - part 2

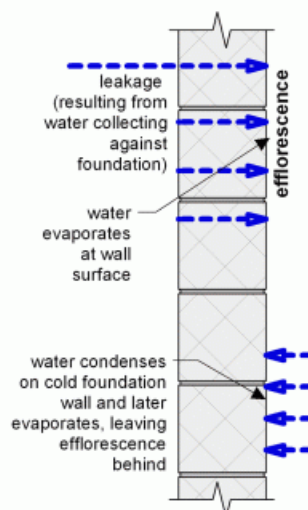


Basement leakage clues - efflorescence

efflorescence is a powdery, white substance that appears when water with dissolved minerals evaporates



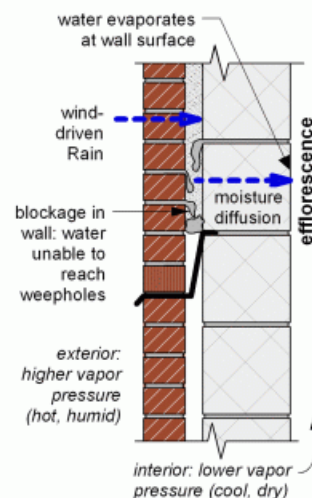
efflorescence may form because of water on the surface of the wall, either from leaks or from condensation, for example:



efflorescence may also form because of moisture diffusion through a wall

concrete and clay are not water-tight

for example:



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Front Bsmt. Wall

GARAGE \ Vehicle doors

31. Condition: • Repair or replace weather strip trim to protect against water intrusion.

Doors did have some cosmetic damage and dents in various areas on both doors. Replace as needed. \$750-\$2,500 Per Door.

Location: Garage

Task: Repair or replace Improve Protect

Time: When necessary

Cost: Less Than \$50 Up to \$150



Failing Weather Stripping

APPLIANCES \ Washing machine

32. Condition: • Drip pan missing

Add a drip pan under the washer to prevent potential water damage if failure occurs.

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Steel braided hoses recommended over rubber hoses, rubber hoses are known for failure and water damage. Synthetic rubber hoses noted.

Limited view behind laundry area.

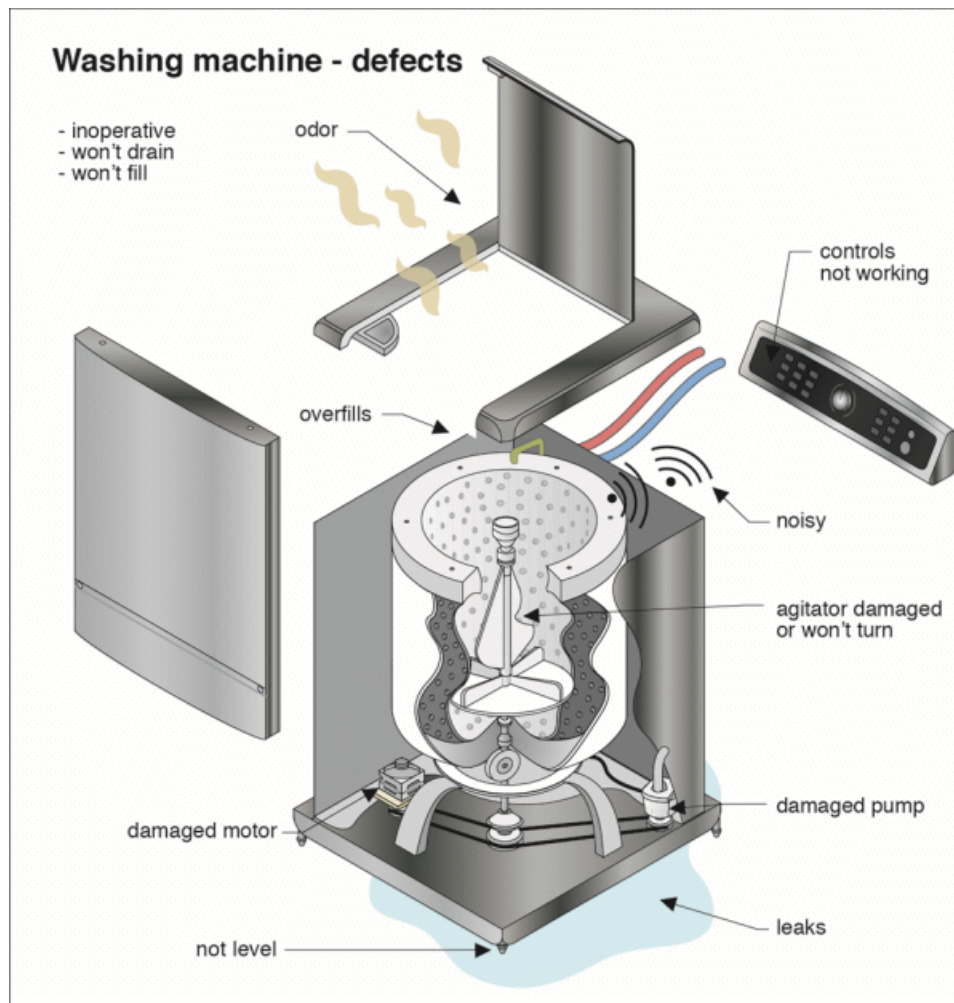
The exterior dryer termination location appears full of lint. Clean this out to ensure safe venting can occur.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Laundry Area

Task: Improve Protect

Cost: \$50-\$150



INTERIOR

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Dryer Exhaust



No Drip Pan On Main Floor Laundry

Description

Type:

- Active

To ensure fan is running you should always see separation between two red vials.

If property tests high a second suction point would be needed.



Manometer

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Description

General: • [HIGHLY recommended to downloading a home organizer app: CentrIQ \(Right Click Open New Tab/Window\)](#)

It is a home organizer app that will remind you on maintenance tasks and maintain all pertinent house information. Scan your current appliances and future upgrades to find out life expectancy, warranty protections, factory recalls, manuals, how to guidance, common replacement parts, and so much more!

GOOD ADVICE FOR ALL HOMEOWNERS: • The following items explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

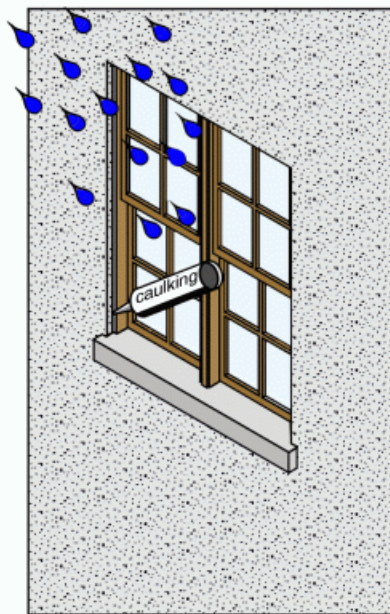
Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

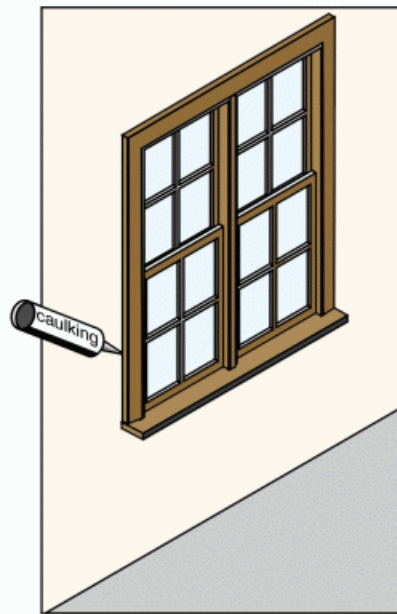
Maintaining the Exterior of Your Home:

- Regular maintenance includes painting and caulking of all exterior wood.

Caulking - indoors or out?



exterior caulking is done to keep rain out of wall systems



interior caulking is intended to prevent air leakage into the wall system

- Care should be taken with lawn sprinkler systems (irrigation systems). These can wet and damage exterior walls and cause leakage problems into basements and crawlspaces. Water should not be directed against or adjacent to the building. Hire this out every fall, \$50-\$150 and it is covered under warranty and protected against future damages.

Heating and Cooling System - Annual Maintenance: • An annual maintenance agreement that covers parts and labour is recommended for all heating and cooling equipment. Humidifiers and electronic air cleaners should be included in the service agreement. The first service visit should be arranged as soon as possible, preferably before equipment is used. • Filters for furnaces and air conditioners should be checked monthly during the operating season and changed when they are dirty. Duct systems should be balanced during regular servicing for maximum comfort. Systems with heating and air conditioning require different balance setups for summer and winter. • For boiler/hot water systems, we recommend that any balancing or adjusting of radiator valves be performed by a specialist, due to the risk of leakage. Heating system valves are not operated during a home inspection. • Gas fireplaces and heaters should be included in annual service plans with gas furnaces, boilers or water heaters.

Fireplace and Wood Stove Maintenance: • Wood burning appliances and their chimneys should be inspected and cleaned before you use them the first time and annually thereafter. We recommend specialists with WETT (Wood Energy Technology Transfer) designations for this kind of work.

Electrical System - Label the Panel: • The electrical panel should be labelled to indicate what is controlled by each fuse or breaker. Where the panel is already labelled, please verify the labelling is correct. Do not rely on the labelling being accurate.

Insulation Amounts - Current Standards: • Current standards for insulation in new construction are outlined below: • Attic and roof space: R-50 (R-60 if electric heat) • Floors above garages and other unheated areas: R-25 • Walls: R-19 (R-29 if electric heat) • Basement/crawlspace walls: R-12 (R-19 if electric heat)

Reduce Air Leaks:

• Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment. Attic bypasses can be a huge source of air leakage. Intrusive evaluation and improving is always the best practice.

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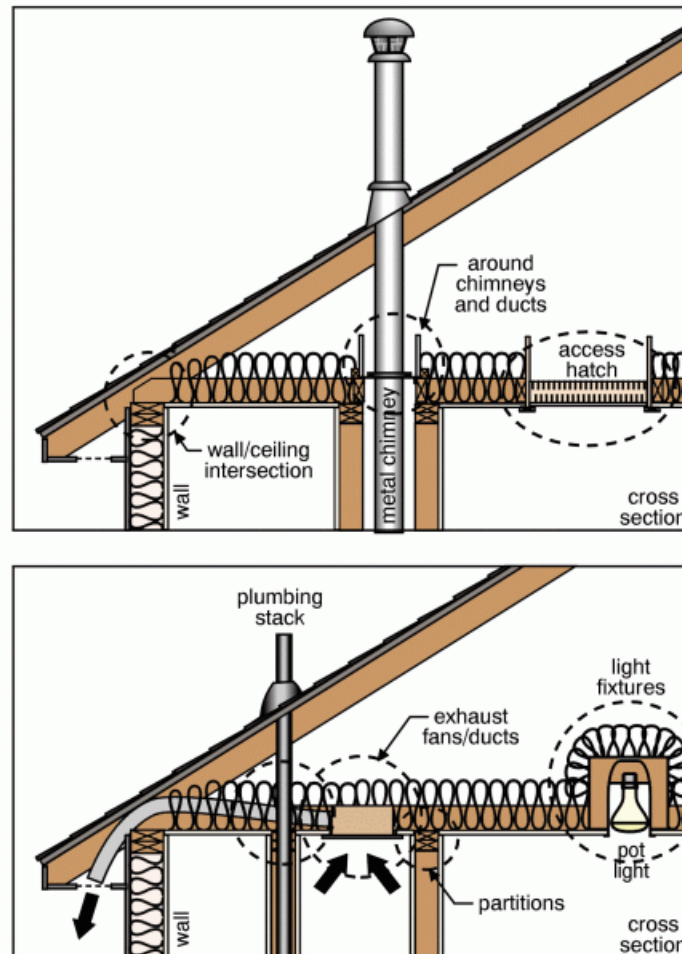
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Potential air leakage locations



Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click for more information.](#)

Smoke and Carbon Monoxide (CO) Detectors:

- Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

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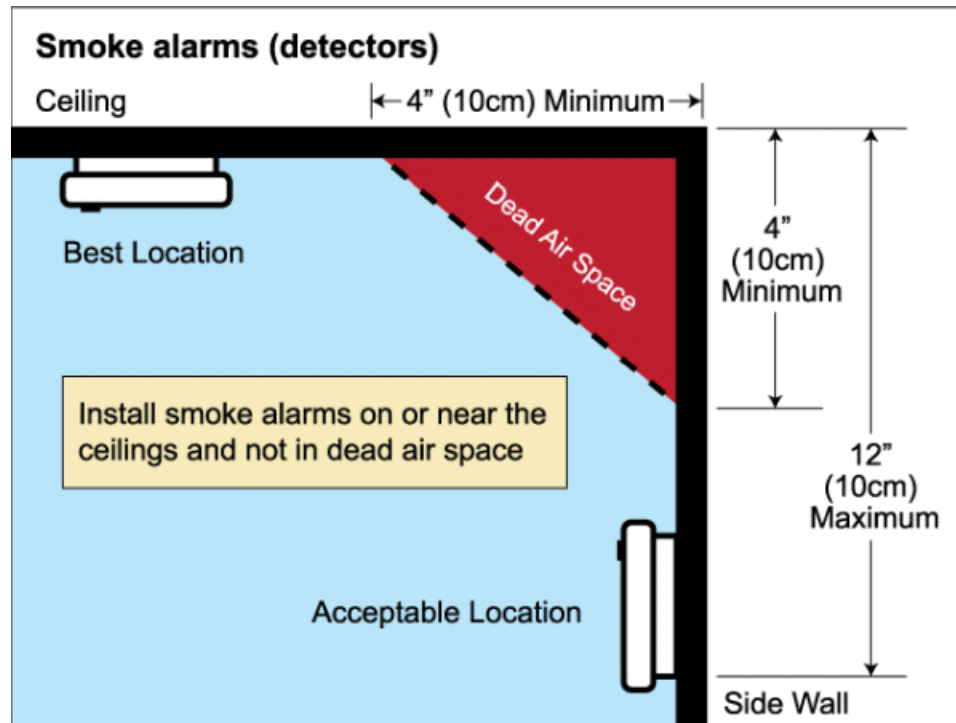
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Washing Machine Hoses: • We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished area of the home. Adding a drip pan under the washer for protection against water damage and ceiling stains is cheap insurance.

Clothes Dryer Vents: • We recommend vents for clothes dryers discharge outside the home, and the vent material should be smooth walled (not corrugated) metal, and the run should be as short and straight as practical. This reduces drying time, energy consumption and cost; and minimizes the risk of a lint fire inside the vent. Have the duct cleaned every year or as needed. Maintenance hint; battery powered leaf blowers can be effective in cleaning dryer exhaust duct.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Click Here For More Information \(Right Click Open New Tab/Window\)](#)

Ballpark estimates based on a typical three-bedroom home.

Priority Items for Home Buyers: • [Click Here For More Information \(Right Click Open New Tab/Window\)](#)

A list of things you should do when moving into your new home and a few regular maintenance items.

Maintenance: • [Click Here For More Information \(Right Click Open New Tab/Window\)](#)

Scheduled maintenance can avoid repairs and extend the life expectancy of many home components. This document helps you look after your home.

When Things Go Wrong: • [Click Here For More Information \(Right Click Open New Tab/Window\)](#)

Unpleasant surprises are unfortunately part of home ownership. This document helps to explain why things happen and why your home inspector may not have predicted it.

Supplementary Information: • [Click Here For More Information \(Right Click Open New Tab/Window\)](#)

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This section provides information on topics beyond the scope of home inspection including asbestos, radon, urea formaldehyde foam insulation, lead, carbon monoxide, household pests and mould.

Standards of Practice: • [Click Here For More Information \(Right Click Open New Tab/Window\)](#)

This document sets out what a professional home inspection should include, and guides the activities of our inspectors.

END OF REPORT

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS